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## 6.10 Introduction to Design Guidelines

### *Introduction*

The Design Guidelines establish the design parameters for the Wood Street Zoning District and address aspects of building and site design not otherwise regulated by the Development Standards. Each development project within a Development Area shall be evaluated in terms of how the design satisfies the design intent set forth in the Design Guidelines, in accordance with Section 2.30 above (Final Development Plan/Final Design Review). Subject to determination by the Planning Director, design solutions may be approved on the basis of conformance with the intent of the Design Guidelines without conforming to the specific recommendations set forth in those guidelines.

### *Applicability and Exceptions*

The Design Guidelines are generally applicable to all Development Areas. Each set of guidelines includes a statement which identifies any limits of applicability within a Development Area as well as any locations or conditions that are exempt from the guidelines contained in that section.

### *Statement of Intent*

Each set of guidelines includes a statement of intent which sets forth the underlying purpose of the guidelines. Design solutions which do not meet specific guidelines will be evaluated in terms of conformance with the statement of intent.

### *Guidelines - Encouraged, Discouraged and Not Allowed*

As a means of illustrating intent, certain guidelines provide examples under the categories of “encouraged,” “discouraged” or “not allowed” These examples are representative and are not an exhaustive list of all possible examples in each category. Elements that are indicated as discouraged may be allowed subject to the determination by the Planning Director that a certain design solution in a particular application is consistent with the intent of that Guideline.

### *Optional Prescriptive Guidelines*

For certain guidelines, a set of optional prescriptive guidelines is provided. Design solutions which adhere to the prescriptive guidelines shall be deemed to have met the intent of the Design Guidelines. Design solutions which do not adhere to the prescriptive guidelines must be consistent with the intent of the Design Guidelines, subject to determination by the Planning Director.

### *Guidelines for specific locations*

Guidelines applicable to specific Overlay Zones or Development Areas are included in some sections. In case of conflict, guidelines applicable to a specific Overlay Zone or Development Area shall take precedence over general guidelines.

## **6.20 Architectural Character**

### *Applicability*

The following guidelines apply to all Development Areas.

### *No Exceptions*

#### General Guidelines

1. Each development project shall by use of massing, articulation, materials and detail establish a coherent, integrated architectural character that is consistent throughout the development project. All built aspects of the development project shall be considered as contributing to the architectural character of the development project, including but not limited to; site structures and furnishings, exterior lighting, paving and signage.
2. Buildings are not restricted to any specific architectural style. Within the overall scope of the Wood Street Zoning District, a variety of architectural styles are encouraged as a means of enhancing the eclectic urban character of the development project.

## 6.21 Pedestrian Connections

### *Applicability*

The following guidelines apply to all Development Areas except as specified below.

### *Exceptions*

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing buildings
2. Development Area 8
3. Frontage Road Overlay Zone
4. Plaza Overlay Zone
5. Adjacent to elevated roadways

### *Statement of Intent*

The intent of the guidelines set forth in this section is to create a pattern of ground level pedestrian entries and views into the interior of the development project site that is consistent with a neighborhood oriented urban development.

### *General Guidelines*

1. Provide multiple ground level openings and entries into the site. Particular emphasis should be placed on visual and pedestrian connections at Wood Street.

### *Encouraged*

- a. Multiple pedestrian connections with Public Streets or Public Access Areas
- b. Ground level vistas into the site from the public streets or Public Access Areas
- c. Ground level pedestrian lanes or auto/pedestrian lanes that subdivide larger Development Areas.

### *Discouraged*

- a. Building frontage at street lines or street set back lines exceeding 200 feet in length without provision of ground level pedestrian access and views into the interior portion of the development site.

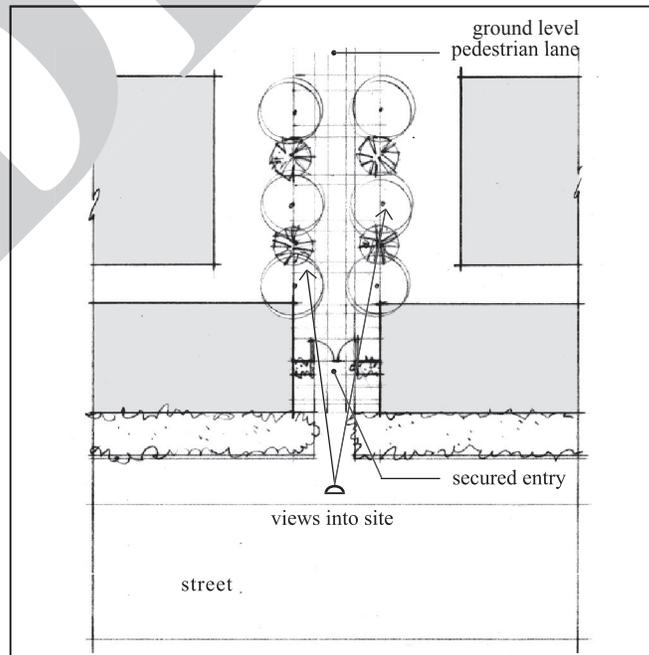


Figure 6.21-1, (Illustrative Only)

## 6.23 Building Massing

### *Applicability*

The following guidelines apply to portions of buildings located within sixty (60) feet of the street line or street setback line and greater than two (2) stories or twenty five (25) feet in height except as specified below.

### *Exceptions*

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Building frontage on 10th Street
2. Building frontage on the 20th Street Public Access Area
3. Building frontage adjacent to elevated roadways
4. Existing buildings
5. Commercial uses at Development Area 8

### *Statement of Intent*

The intent of the guidelines set forth in this section is to encourage building massing that is consistent with neighborhood oriented mixed-use character of the Wood Street Zoning District.

### *General Guidelines*

1. Massing should be employed to reduce the visual scale of large development projects and to respond to specific urban conditions.

### *Encouraged*

- a. Articulation of separate building volumes.
- b. Building massing that emphasizes corner locations
- c. Building massing that emphasizes major entry points into the site
- d. Creation of a varied building silhouette by incorporating significant changes in massing at the roof lines

### *Guidelines for Wood Street Overlay Zone*

1. Significant changes in building massing are strongly encouraged to reduce the perceived scale of buildings fronting Wood Street. See *Figure 6.23-1*.
  - a. For the purposes of this guideline, a significant change in massing is defined as a building offset having a width and depth of not less than eight (8) feet and a height of not less than one story.

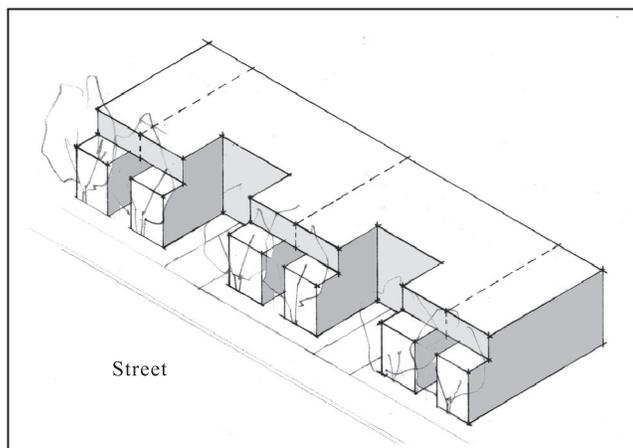


Figure 6.23-1, (Illustrative Only)

## 6.24 Building Articulation

### Applicability

The following guidelines apply to all building facades located parallel to and less than twenty (20) feet from a street line or street setback line except as specified below.

### Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Building frontage on 10th Street
2. Building frontage on the 20th Street Public Access Area
3. Building frontage adjacent to elevated roadways
4. Existing buildings
5. Commercial uses at Development Area 8

### Statement of Intent

The intent of the guidelines set forth in this section is to encourage building articulation that is consistent with the neighborhood oriented, mixed use character of the Wood Street Zoning District.

### General Guidelines

1. Building facades shall be articulated by means of recesses, changes in plane, bays, projecting elements, variations in exterior finishes or a combination thereof. Articulation strategies may include emphasizing groupings of dwelling units or occupied spaces, establishing vertical and horizontal rhythms, creating a varied building silhouette, adding visual accents and similar architectural strategies.

### Prescriptive Guidelines (Optional)

1. Any building plane greater than sixty (60) feet in width and more than one story in height shall be articulated by a recess or projection extending at least two stories in height with a minimum width of four (4) feet and a minimum depth of two (2) feet. See *Figure 6.24-1*
2. The maximum length for a single building plane may be increased to one hundred (100) feet when building articulation is provided in the form of a recess or projection extending at least two stories in height with a minimum width of two (2) feet, a minimum depth of one and one half (1 1/2) feet, and occurring a minimum of three times within any one hundred (100) foot length of building facade. See *Figure 6.24-2*
3. The allowable length of a single uninterrupted plane may be doubled at the first story.

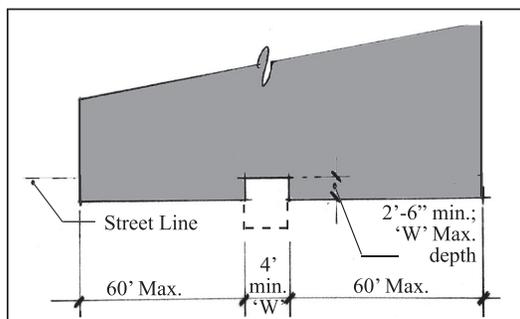


Figure 6.24-1, (Illustrative Only)

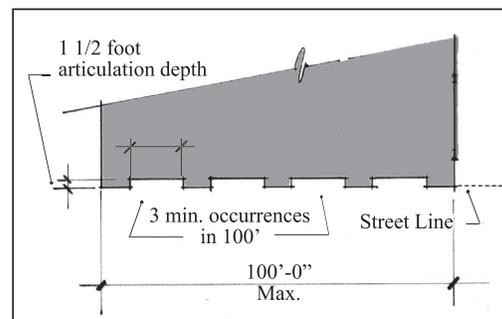


Figure 6.24-2, (Illustrative Only)

## 6.25 Facades At Parking Garages

### *Applicability*

The following guidelines apply to all parking garage facades visible from and located within sixty (60) feet of a street line or street setback line except as specified below except as specified below.

### *Exceptions*

The locations indicated below are exempt from the guidelines contained in this section:

1. Building frontage on 10th Street
2. Building frontage on 20th Street
3. Building frontage located adjacent to and below elevated roadways.
4. Facades of garages that will be concealed by subsequent phased construction.

### *Coordination with Development Standards*

Refer to *Section 5.64* of the *Development Standards* for limitation on the location of parking garages.

### *Statement of Intent*

The intent of the guidelines set forth in this section is to discourage parking garage facades that are utilitarian in character, allow extensive views of parked cars and do not relate to the architectural character of the occupied space served.

### *General Guidelines*

1. The architectural character of the parking garage facade shall be integrated with that of the occupied space served by the garage. See *Figure 6.25-1*
  - a. Patterns of openings at garage facades should be similar in rhythm and scale to openings at the occupied spaces served by the garage.
  - b. Garage facades should incorporate awnings, canopies, sunscreens planters, ornamental railings and other elements that impact a visual richness comparable to that of facades at the occupied space served by the garage.
2. Transparent openings at garage facades, including unglazed openings or openings with clear glazing shall not exceed 50% of the wall area visible from the exterior at any story of a parking garage.
  - a. There is no limitation on the area of permanent translucent materials at garage facades, such as glass block or etched glazing.
3. Lighting at parking garages shall be located or screened to prevent direct view of light source from streets or public access areas, to the greatest degree practical.

## 6.26 Balconies

### Applicability

The following guideline applies to balconies at all buildings parallel to and located less than twenty (20) feet from a street line or street setback line except as specified below.

### Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing Buildings

### Statement of Intent

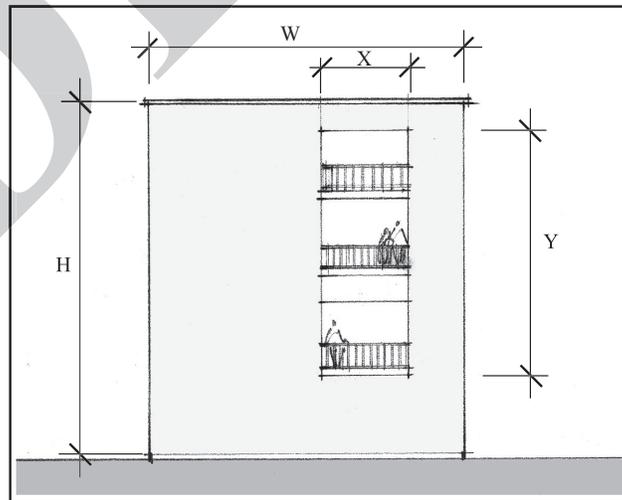
Balconies provide useful outdoor space for dwelling units and desirable articulation to building facades. However, a predominance of balconies on the street frontage can result in a cluttered appearance and can limit the visual connection between occupied spaces and the street. The intent of the guidelines set forth in this section is to ensure that balconies, where provided, are consistent with the architectural character of the development project.

### General Guidelines

1. Where provided, balconies shall be visually integrated with the architectural character of the development project and shall not be the predominant element on any facade facing the street line.

### Prescriptive Guidelines (Optional)

1. Within any one hundred (100) lineal feet of building frontage, the total area of balconies shall not exceed thirty-five percent (35%) of the area of the building plane measured as indicated below. See *Figure 6.26-1*
  - a. The vertical dimension of the balconies shall be measured from the finish floor of the balcony to the underside of the floor or ceiling above.
  - b. The building plane shall be measured from top of finish floor at grade to top of parapet



$$(XxY) \leq 35\% (HxW)$$

Figure 6.26-1, (Illustrative Only)

## 6.27 Awnings & Canopies

### *Applicability*

The following guidelines apply to all buildings or portions of buildings parallel to and located less than twenty (20) feet from a street line or street setback line except as specified below.

### *Exceptions*

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing Buildings

### *Coordination with Development Standards*

Refer to Section 5.32 of the Development Standards for requirements related to building entries at building frontage.

### *Statement of Intent*

Storefront awnings and canopies at ground level commercial locations provide articulation to the building facade, sun and rain protection to pedestrians, and shield large window areas from glare. The intent of the guidelines set forth in this section is to encourage the provision of awnings and canopies that are consistent with the architectural character of the development project.

### *General Guidelines*

1. Awnings or canopies are encouraged at primary entries to ground level commercial spaces, except at locations where the primary entry is protected by other architectural elements. (i.e. arcade)
2. Awnings and canopies shall be divided into sections that relate to and emphasize vertical elements of the building facade
3. Awnings and canopies shall align with horizontal datum lines at the building facade
4. Awnings and canopies shall be constructed of durable materials. Fabrics designed for exterior use are acceptable.

### *Guidelines for Plaza Overlay Zone*

5. At building facades within the Plaza Overlay Zone, a consistent pattern of awnings or canopies shall be provided at the ground floor of each facade fronting the plaza.
  - a. These awning or canopy treatments are not required to be consistent with those at other buildings fronting the plaza.
  - b. This requirement does not apply where an arcade, porch or other sheltering architectural element is provided at the ground floor.



Figure 6.27-1, (Illustrative Only)

## 6.30 Windows

### *Applicability*

The following guidelines apply to all buildings or portions of buildings visible from and within sixty (60) feet of the public right of way except as specified below.

### *Exceptions*

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing Buildings

### *Statement of Intent*

The intent of the guidelines set forth in this section is to ensure that the selection and design of the windows enhances the architectural character of the development project. The treatment of windows is critical to the exterior appearance of a building. Windows help establish the scale of a building and because of their predominance on building facades express the quality of the construction more than any other single exterior element.

### *General Guidelines*

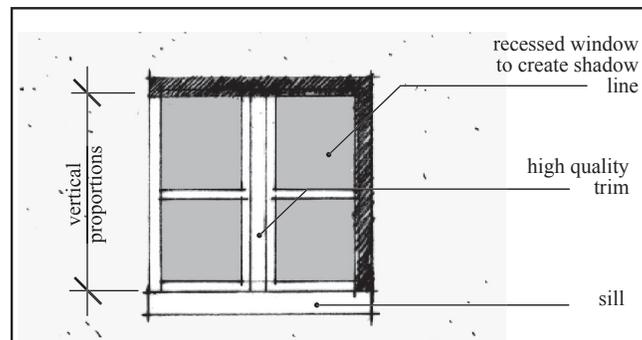
1. The proportion and subdivision of typical windows should reflect the overall proportion and character of the building. Exceptions for special windows are allowed.
2. Window materials, trim (if any), and detailing should be of good quality and consistent with the architectural character of the building and compatible with the other exterior materials.
3. Windows set flush with cement plaster (stucco) finish without provision of trim, projecting sills, or other perimeter detailing are strongly discouraged
4. Glazing shall be transparent to the greatest degree practical

*Encouraged:* clear glazing, Low-E glazing where needed for sun control

*Discouraged:* tinted glazing except at special locations, or at commercial occupancies located above the ground floor

*Not Allowed:* reflective glazing, except at spandrels or other limited areas where consistent with overall architectural design

5. Window grills or security screens are discouraged, particularly at locations less than twenty (20) feet from a street line or street setback line.
  - a. Where necessary due to specific security concerns, window grills or security screens shall be fabricated of high quality materials and be designed as an integral part of the architectural character of the development project



Example of window articulation

Figure 6.30-1, (Illustrative Only)

### 6.31 Garage Doors

#### Applicability

The following guidelines apply to all garage doors visible from and located less than sixty (60) feet from a street line or street setback line, and serving parking garages containing three or more parking spaces except as specified below.

#### Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing Buildings

#### Coordination with Development Standards

Refer to *Section 5.63* of the *Development Standards* for limitations on the location of garage doors within in the Wood Street Overlay Zone.

#### Statement of Intent

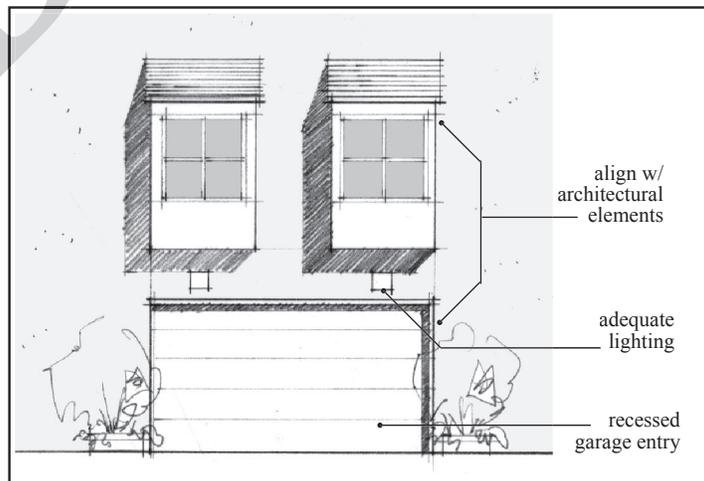
The intent of the guidelines set forth in this section is to ensure that vehicular entries to parking garages do not detract from the street front pedestrian environment or the architectural character of a development project.

#### General Guidelines

1. Automatic, motor operated garage doors shall be provided at all vehicular entries to parking garages
2. Garage door openings shall be aligned with windows, bays or other architectural elements to create an integrated composition consistent with the overall architectural character of a development project.
3. Garage doors shall be recessed a minimum of one (1) foot from the face of the adjoining building facade.
4. Garage doors shall be constructed of high quality durable materials:

*Encouraged:* Single panel sliding-type garage doors  
Sectional overhead doors

*Discouraged:* Residential grade garage doors  
Single panel overhead doors



Example of garage door articulation

Figure 6.31-1, (Illustrative Only)

### 6.32 Service Access

#### *Applicability*

The following guidelines apply to all ground level service doors or gates visible from and located less than twenty (20) feet from a street line or street setback line, and which provide access to waste handling areas, electrical or mechanical equipment, gas or electric meters, or other non-occupied service spaces except as specified below.

#### *Exceptions*

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Building frontage adjacent to elevated roadways
2. Existing service access doors at existing buildings.

#### *Statement of Intent*

The intent of the guidelines set forth in this section is to ensure that service access doors and gates do not detract from the architectural character of the development project.

#### *General Guidelines*

1. All service doors and gates shall be designed as integral elements of the building design.
2. The aggregate width of service doors shall not exceed fifteen (15) feet within any 60 feet of street frontage
3. Doors exceeding thirty (30) square feet in area (such as doors to waste handling areas or electric transformers) shall be recessed a minimum of 9 inches from the primary building plane
4. Service doors or gates shall not allow any view into space served. Louvers required for venting or ventilation purposes are acceptable provided they do not allow visibility into service areas.

#### *Guidelines for Wood Street Overlay Zone*

1. Service openings facing Wood Street are discouraged, where service openings are necessary they shall be subject to the following limitations.
  - a. The maximum combined width of the service access openings shall not exceed eight (8) feet in any 60 feet of street frontage
  - b. No individual service access opening shall exceed eight (8) feet in width

### 6.33 Underground Utility Connections

#### *Applicability*

The following guidelines apply to all Development Areas, except as specified below.

#### *Exceptions*

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing buildings

#### *General Guidelines*

All utility lines serving lots within the Wood Street Zoning District shall be underground to point of entry at building, including electrical, telephone, data and cable services.

### 6.34 Screening of Equipment

#### *Applicability*

The following guidelines apply to all Development Areas except as specified below.

#### *Exceptions*

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Adjacent to elevated roadways

#### *Statement of Intent*

Equipment and mechanical penetrations shall be incorporated in the overall building and site design to avoid detracting from the architectural character of the development project.

#### *General Guidelines*

1. All equipment located within twenty-five (25) feet of a street line or adjoining setback line shall be screened by one of the following means. (Refer to 3.40 *Definition of Terms* for definition of equipment).
  - a. By enclosure entirely within the structure of the building with access provided by opaque service access door. (A portion of Electric meters may be exposed to allow reading of meter without opening door.)
  - b. By enclosure in a below grade vault or structure
  - c. By provision of a fence or wall with a minimum opacity of 50 percent. The top of the fence or wall shall be at least equal in height to the equipment screened. See *Figure 6.34-1*
  - d. By combination of an open fence and adjoining planting that will reach a height sufficient to screen the equipment within three years

#### *Exceptions*

The following equipment is not required to be screened.

- a. Residential gas meters serving individual dwelling units in groups not exceeding four meters.
  - b. Individual commercial gas meters.
  - c. Individual residential electrical meters.
  - d. Back flow preventers for irrigation systems not exceeding 2" nominal size.
2. Equipment located more than twenty (20) feet from a street setback line or street setback line shall be integrated into the overall building and site design.
  3. All equipment located on the roof of a building shall be screened by one of the following means.
    - a. Located such that it is not visible from the street.
    - b. By provision of a screening device consistent with the architectural character of the development project and with an open area not exceeding forty (40) percent that screens equipment visible from the street.

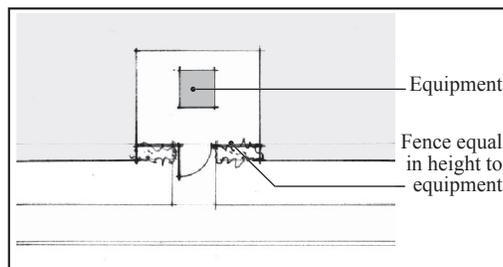


Figure 6.34-1, (Illustrative Only)

### 6.35 Mechanical Penetrations at Facades and Roofs

#### *Applicability*

The following guidelines apply to all Development Areas except as specified below.

#### *Exceptions*

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing Buildings

#### *Statement of Intent*

The intent of the guidelines set forth in this section is to ensure that exterior mechanical penetrations are located and/or screened to avoid detracting from the architectural character of the development project.

#### *General Guidelines*

1. The following guidelines apply to all roofs with slopes exceeding 2:12.
  - a. At all buildings or portions of buildings located less than sixty (60) feet from a street line or street setback line appliance vents, exhaust fans, and similar roof penetrations shall be located so as to not be visible from the street, to the greatest degree practical.
  - b. Where visible from street, roof penetrations shall be aligned to present an organized appearance.
  - c. All exposed metal penetrations and roof accessories shall be finished to match or blend with the roof color.
2. Mechanical penetrations at building facades, including kitchen and dryer vents, bath exhausts and other penetrations shall be aligned horizontally and vertically with other penetrations, window openings and/or other architectural features to present an organized appearance consistent with the architectural character of the building. See *Figure 6.35-1*

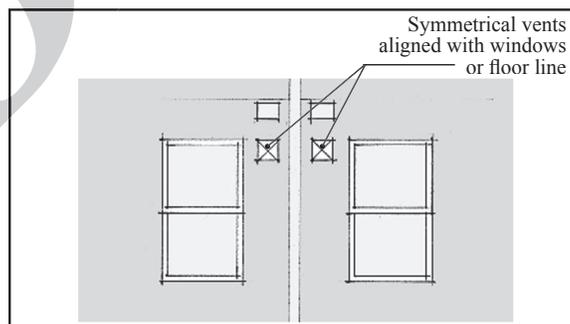


Figure 6.35-1, (Illustrative Only)

### 6.36 Waste Handling Areas

#### *Applicability*

The following guidelines apply at all Development Areas.

#### *No Exceptions*

#### *Statement of Intent*

The intent of the guidelines set forth in this section is to ensure that waste handling areas are located and designed to provide adequate capacity, secure and convenient access for residents, and to avoid adverse impact on the street frontage, common areas and the surrounding neighborhood.

#### *General Guidelines*

1. All waste handling areas shall either be enclosed in the structure of the building or screened by a wall or fence consistent with architectural character of the building and adequate to prevent view of trash or recycling containers from the street, public access areas, common circulation areas or group open space areas.
2. Adequate lighting shall be provided at the path leading to the waste handling enclosure as well as within the enclosure.
3. Space allocated for recycling shall be consistent with the requirements of Section 17.118 of the Planning Code.

#### *Guidelines for Wood Street Overlay Zones*

1. Waste Handling areas are not allowed in the Wood Street or Plaza Overlay Zones unless they conform to the following requirements.
  - a. The waste handling area shall be enclosed entirely within the structure of the building, with access provided by opaque service door.
  - b. The service doors accessing the waste handling shall not face Wood Street or the 16th Street Plaza.

## 6.40 Exterior Materials

### *Applicability*

The following guidelines apply to all Development Areas except as specified below.

### *Exceptions*

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing exterior materials on existing buildings

### *Statement of Intent*

The intent of the guidelines set forth in this section is to promote the selection of high quality exterior materials.

### *Guidelines.*

1. All exterior materials and building components shall be durable and of a high-quality.

2. Exterior Wall Materials

*Encouraged:* cement plaster (stucco), cement board (panels or planks); wood panels, planks; metal – corrugated panels, flat panels; stone; brick & split face block.

*Discouraged:* EIFS (Exterior Insulation and Finish Systems), unfinished concrete block, hardboard or plywood siding

*Not Allowed:* vinyl or aluminum siding; unfinished wood siding

3. Roofing Materials at Sloped Roofs where visible from the street (*roofs of 2:12 slope or greater*)

*Encouraged:* concrete or clay tile, (s-barrel or flat); high-quality composition shingles; fire-treated wood shakes or shingles; standing seam metal roofing

*Discouraged:* sheet or roll roofing; synthetic shakes or shingles; high-glaze tiles or glossy painted concrete tiles

4. Roofing Materials at flat roofs (*roofs less than 2:12 slope*)

*No limitations*

## 6.41 Exterior Color

### *Applicability*

The following guidelines apply to all Development Areas.

### *No Exceptions*

### *Statement of Intent*

The intent of the guidelines set forth in this section is to ensure that selection of exterior colors enhances the architectural character of the development project.

### *General Guidelines.*

1. Each development project shall create a cohesive color palette that takes into consideration the finish of all exterior elements.
2. Development projects are encouraged to employ more than one body color to articulate the form, rhythm and scale of the building.
3. Accent colors are encouraged where they enhance the architectural character of the development project.

## 6.42 Exterior Lighting

### *Applicability*

The following guidelines apply to all Development Areas.

### *No Exceptions*

### *Statement of Intent*

The intent of the guidelines set forth in this section is to ensure that exterior lighting provides for adequate visibility and security at all paths of travel, and enhances the architectural character of the development project.

### *Guidelines*

1. A minimum average lighting level of one foot candle shall be provided along all designated paths of travel between dwelling units, buildings and site entrances, public streets, and open spaces.
2. Exterior lighting shall be provided immediately adjacent to all entries to the site, buildings, dwelling units and commercial spaces.
3. All exterior light fixtures shall be designed and situated to avoid glare at occupied space.
4. Exterior light fixtures shall be compatible in location, design and finish with the architectural character of the development project.
5. The location and design of exterior lighting adjacent to a street or public access area shall be coordinated with lighting at the adjoining streetscape design.
6. High-pressure and low-pressure sodium lamps are not allowed due to poor color rendition.

## 6.50 Signage & Graphics

### *Applicability*

The following guidelines apply to all Development Areas.

### *No Exceptions*

### *Coordination with Development Standards*

Refer to Section 5.70 of the Development Standards for limitations on the display area and number of signs.

### *Statement of Intent*

The intent of the guidelines set forth in this section is to ensure that exterior signage does not detract from the architectural character of the development.

### *General Guidelines*

1. Signs shall respect the architectural elements of the buildings they identify and shall be designed as architectural elements in their own right.
2. Signs shall not obscure architectural elements such as transoms or columns.
3. All exterior signage shall be professionally designed and fabricated of high-quality durable materials.
4. The size of signs and sign letters shall be in scale and proportion to the space in which they are located.
5. The design and alignment of adjacent signs shall be coordinated in order to achieve an organized appearance.
6. The following sign types are not allowed
  - a. Internally lit 'cabinet' signs
  - b. Moving signs
  - c. Blinking or flashing signs
7. Sign lighting shall utilize spotlighting or exposed neon and shall not create glare for pedestrians or motorists.

### *Guidelines for Projecting Signs*

1. Location of projecting signs shall be coordinated to avoid obscuring other signage.

### *Guidelines for Freestanding Signs*

1. Free standing signs shall be designed to avoid blocking vehicular or pedestrian site lines.
2. Free standing signs shall both exceed five (5) feet in height.

## 6.60 Planting Areas

### *Applicability*

The following guidelines apply to all Development Areas.

### *No Exceptions*

### *Coordination with Development Standards*

Refer to Section 5.61 of the Development Standards for standards related to provision of trees at surface parking areas

### *Statement of Intent*

The intent of the guidelines set forth in this section is to promote planting that enhances the livability and neighborhood oriented character of the development.

### *General Guidelines*

1. Planting areas should be designed to be attractive year round through provision of a variety of textures and seasonal color.
2. Planting shall be utilized for the following purposes:
  - a. to emphasize and enhance pedestrian and vehicular entries.
  - b. to screen service areas
  - c. to provide buffering between non-compatible site uses.
  - d. to provide buffering between private and group usable outdoor space
  - e. to improve appearance and comfort of outdoor space.
3. Planting shall take into consideration public safety, and shall not interfere with the site lines or movement for motorists, pedestrians, or bicyclists.

### *Guidelines for Planting at Street Frontage*

1. Setback areas between the back of sidewalk and the building line shall be designed to provide the maximum amount of planted area. A minimum of 75% of the required setback areas shall be planted.
2. Planting in required street setbacks shall be designed to not exceed 36" in height to maintain sight lines for pedestrian and residents. Higher planting are acceptable adjacent to buildings to provide privacy at street facing windows.
3. Trees shall be limbed to provide visibility through and below the canopy.
4. Where no street setback is required, planting areas are encouraged between the building face and the back of sidewalk to soften and enhance the street frontage.

*Planting at usable group outdoor areas.*

1. At required group usable open space planted areas should comprise a minimum percentage of the required usable open area not less than indicated below.
  - a. At grade group usable open space: 40%
  - b. Above grade group usable open space 25%

*Pot Sizes*

1. Soil depth in pots should not be less than 18 inches.

*Selection of Plant Materials*

1. Trees, shrubs and ground covers should be selected primarily from drought tolerant native or Mediterranean species.
2. Selection of plant materials should take into account solar orientation, building shadow and soil characteristics to ensure sustained growth.
3. Trees should be a mix of deciduous and evergreen, and should be selected on the basis of hardiness and ease of maintenance.
4. Plant sizes should meet the following minimum sizes at the time of planting
  - a. Deciduous Shade Trees: 2 inch caliper
  - b. Ornamental trees: 1.5 inch caliper
  - c. Evergreen trees: 2 inch caliper
  - d. Multi-stem ornamental trees: 6-8 feet in height
  - e. Shrubs: 5 gallon container
  - f. Vines: 1 gallon container
  - g. Ground cover and perennials: 2-1/4 inch pots

*Irrigation*

1. All planting areas should be provided with an automatic irrigation system that meets the following criteria
  - a. Utilization of bubblers, drip systems, and other water efficient strategies
  - b. Provision of sufficient coverage to all landscape areas
  - c. Minimum overspray on non-planted areas.
  - d. Easily maintained.

*Maintenance of Planted Areas*

1. All landscape areas shall be maintained in conformance with standards set forth in Section 17.124.020 of the Planning Code.