

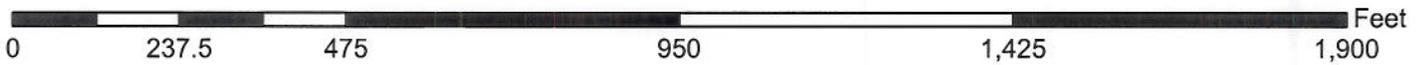
Project Title:	Safeway Redevelopment Project (Broadway @ Pleasant Valley Avenue) EIR Scoping Session
Location:	5050-5100 Broadway (see map on reverse)
Assessor's Parcel Numbers:	014-1242-002-03 & 014-1242-005-07
Proposal:	Demolition of the existing Safeway and Long's Drugs stores, along with other adjacent stores, and the redevelopment and remodeling of the site with the construction of a new Safeway store, a new CVS store, and other commercial buildings. The project would contain a total of approximately 304,000 square feet of commercial space and 1,006 parking spaces. Also proposed are modifications to adjacent streets including additional vehicle travel lanes and/or turn lanes.
Applicant:	L. Owen Chrisman, Benner Stange Associates Architects, Inc.
Contact Person/Phone Number:	L. Owen Chrisman / (530) 670-0234
Owner:	Safeway, Inc., PDC Ground Control Lease
Planning Permits Required:	Conditional Use Permit; Design Review; Creek Protection Permit
General Plan:	Community Commercial
Zoning:	C-40 Community Thoroughfare Commercial Zone (portion of site); C-30 District Thoroughfare Commercial Zone (portion of site); and R-50 Medium Density Residential Zone (portion of site)
Environmental Determination:	An Environmental Impact Report (EIR) will be prepared. A Notice of Preparation for the EIR was published on <u>June 26, 2009</u> . The public comment period on the Notice of Preparation ends on <u>July 27, 2009</u> .
Historic Status:	Not a Potential Designated Historic Property (PDHP); Survey rating: X
Service Delivery District:	2
City Council District:	1
Date Filed:	June 10, 2009
Status:	Pending
Action to be Taken:	Comments on the scope of the EIR. No decisions will be made on the project at this hearing.
Staff Recommendation:	Take public testimony concerning the scope of the EIR and provide direction to staff.
Finality of Decision:	No decision will be made on the project at this time.
For Further Information:	Contact the case planner, Darin Ranelletti , at (510) 238-3663 or by e-mail at dranelletti@oaklandnet.com .

SUMMARY

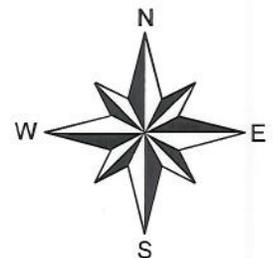
The applicant proposes to redevelop the existing Rockridge Shopping Center located at Broadway and Pleasant Valley Avenue, currently anchored by Safeway and Long's Drugs (now CVS), with a new shopping center containing a new Safeway, a new CVS store, and other commercial space totaling approximately 304,000 square feet of floor area.

The project is subject to the environmental review requirements of the California Environmental Quality Act (CEQA). An Environmental Impact Report (EIR) will be prepared that analyzes potential environmental impacts of the project. A Notice of Preparation (NOP) for the Draft EIR was published on June 26, 2009. The 30-day public comment period on the NOP ends on July 27, 2009.

CITY OF OAKLAND PLANNING COMMISSION



Case File: ER09-007, CMD09-135, CP09-090
Applicant: L. Owen Chrisman
Address: 5050-5100 Broadway
Zone: C-30/C-40/R-50



The purpose of today's hearing is to hear comments from the public and the Planning Commission concerning the scope of the forthcoming EIR. Comments should be limited to the scope of the environmental analysis. There will be opportunities to comment on the merits of the project at future hearings. No action will be taken on the project at today's hearing. The decision on the project will occur at a future hearing.

PROPERTY DESCRIPTION

The project site is approximately 15.4 acres in size. The irregular-shaped site is bounded by Broadway to the northwest, Pleasant Valley Avenue to the southwest, a reservoir and vacant commercial building (formerly occupied by Emil Villa's restaurant) to the southeast, and the California College of the Arts (formerly the California College of Arts and Crafts), multi-family residential apartment buildings, and the Claremont Country Club to the northeast.

The site is currently occupied by the Rockridge Shopping Center, a single-story shopping center that contains approximately 185,000 square feet of floor area. The shopping center is anchored by Safeway and Long's Drugs (now CVS) and includes a surface parking lot containing a total of 667 off-street parking spaces.

PROJECT DESCRIPTION

The project involves the redevelopment and remodeling of the existing shopping center. All of the existing buildings on-site, including the Safeway and Long's Drugs, but not including the Chase (formerly Washington Mutual) bank building and the shops located in the northwest portion of the site near Broadway (Boston Market, Bank of America, and Pet Food Express), would be demolished. The buildings not being demolished would be remodeled. A new Safeway and CVS, along with other retail and office space, would be constructed resulting in a total of approximately 304,000 square feet of commercial space. The existing Emil Villa's building located to the southeast of the site is being remodeled separately and is not a part of the proposed project.

The project would be constructed in phases. During Phase I the existing Long's Drugs building and adjacent retail shops would be demolished and replaced by a new Safeway and CVS. The existing Safeway would continue to operate during the construction of the new Safeway. During Phase II the existing Safeway would be demolished and replaced with two-story buildings containing retail uses on the ground floor and office and retail uses on the second floor. New shops would also be constructed along Pleasant Valley Avenue where none currently exist.

A total of approximately 1,006 off-street parking spaces are proposed and would be located in a surface parking lot, on a rooftop parking lot over the new Safeway, and in an underground parking garage.

The applicant also proposes modifications to the adjacent streets and public right-of-way. An additional eastbound left-turn lane would be added on Pleasant Valley Avenue at the primary vehicle entrance to the site. An additional westbound deceleration lane leading to the underground parking garage would be added on Pleasant Valley Avenue. An additional left-turn lane from westbound Pleasant Valley Avenue onto southbound Broadway would be added, requiring the dedication of a portion of the project site. An additional left-turn lane from southbound Broadway onto eastbound Pleasant Valley Avenue would be added. A new left-turn lane and break in the street median would be added to southbound Broadway at one of the entrances to the site.

The project drawings are attached to this report (see Attachment A).

GENERAL PLAN DESIGNATION

The site is designated Community Commercial in the Oakland General Plan. According to the General Plan, the intent and desired character of the Community Commercial is the following:

The Community Commercial classification is intended to identify, create, maintain, and enhance areas suitable for a wide variety of commercial and institutional operations along the City's major corridors and in shopping districts or centers. Community Commercial areas may include neighborhood center uses and larger scale retail and commercial uses, such as auto related businesses, business and personal services, health services and medical uses, education facilities, and entertainment uses. Community Commercial areas can be complemented by the addition of urban residential development and compatible mixed use development. (Land Use and Transportation Element, p. 150)

ZONING INFORMATION

The site is split into three different zoning districts. The southwestern corner of the site, roughly equal to the location of the Chase bank building, is located in the C-40 Community Thoroughfare Commercial Zone. The central portion of the site is located in the C-30 District Thoroughfare Commercial Zone. The eastern portion of the site is located in the R-50 Medium Density Residential Zone.

The portion of the site located in the R-50 Zone would not allow the proposed commercial uses at the site. The R-50 Zone conflicts with the Community Commercial General Plan designation for the site. Pursuant to the City's Guidelines for Determining Project Conformity with the General Plan and Zoning Regulations, an interim conditional use permit would be required to apply the policies of the General Plan to the portion of the site in the R-50 Zone. In May 2009 the City made a determination in conjunction with the review of the proposal to remodel the existing Emil Villa's restaurant building that in reviewing such an interim conditional use permit at the site, the City would apply the standards of the C-30/S-4 Zone as the "best-fit" zone, meaning the C-30/S-4 Zone contains the most appropriate zoning standards to use when reviewing the proposal because the standards best implement the policies of the Community Commercial General Plan designation at the site. The S-4 Zone is an overlay zone that requires design review for the construction and alteration of buildings.

ENVIRONMENTAL DETERMINATION

The project is subject to the environmental review requirements of the California Environmental Quality Act (CEQA). Pursuant to CEQA, a Draft Environmental Impact Report (EIR) will be prepared that analyzes potential environmental impacts of the project, including impacts related to aesthetics, agricultural resources, air quality, biological resources, cultural resources, geology/soils, hazards/hazardous materials, hydrology/water quality, land use plans and policies, mineral resources, noise, population and housing, public services, recreation, traffic/circulation, utilities/service systems and cumulative growth.

A Notice of Preparation (NOP) for the Draft EIR was published on June 26, 2009. The 30-day public comment period on the NOP ends on July 27, 2009. Following the public comment period, the Draft EIR will be prepared and then reviewed by the Planning Commission at a future hearing.

The purpose of today's hearing is to solicit comments from the Planning Commission, Responsible Agencies (i.e., other public agencies that have a role in approving or carrying out the project), and the public on what types of information and analysis should be considered in the EIR. Comments about the

issues that should be considered, the types of information that should be included, and the range of alternatives to the project that should be assessed are the subject of this scoping session. Comments should be limited to the scope of the environmental analysis. There will be opportunities to comment on the merits of the project at future hearings. Review of the potential environmental impacts of the project and consideration of mitigation measures to eliminate, reduce, or off-set those impacts are anticipated to occur during the project review process thus informing the decision-making process.

KEY ENVIRONMENTAL ISSUES AND IMPACTS

Below is a summary of the key environmental issues and impacts related to the project. Note that the list below only contains the anticipated key items related to the environmental effects of the project. Key issues and impacts related to other topics, such as architecture, design, economics, and the merits of the project, will be identified and discussed at future hearings.

Transportation/Traffic

The EIR will include an analysis of the existing transportation system serving the project site and the anticipated effects of the project on the transportation system during the operation of the new shopping center, as well as the new shopping center's anticipated cumulative contribution to future traffic conditions. On- and off-site vehicle, transit, bicycle, and pedestrian circulation will be analyzed. The applicant's proposed street modifications will also be considered.

Reservoir

The project site is considered a creekside property per the Oakland Creek Protection Ordinance due to its proximity to the adjacent reservoir located to the southeast of the site. The reservoir is the location of a former rock quarry. Currently the reservoir is owned by the Claremont Country Club and is used for irrigation purposes at the Country Club. The reservoir is located along the Rockridge branch of Glen Echo Creek which flows to Lake Merritt and eventually into the Oakland Estuary. Because the project is located on a creekside property, the project requires a creek protection permit which will be reviewed in conjunction with the required planning approvals for the project. Both the EIR and the creek protection permit process will analyze the project's potential impact on the reservoir.

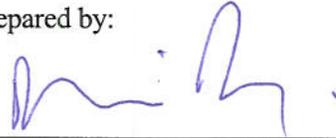
Construction Impacts

The applicant anticipates construction of the project would last approximately two years, beginning in mid-2010 and finishing in mid-2012. The EIR will evaluate the potential construction-related impacts of the project on the environment, including impacts related to transportation and traffic, air quality, and noise.

CONCLUSION

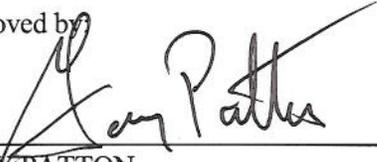
Staff recommends that the Planning Commission take public testimony on the scope of the Draft EIR and provide direction to staff on the environmental analysis. The focus of the meeting should be the scope of the environmental analysis. There will be opportunities to comment on the merits of the project at future hearings.

Prepared by:



Darin Ranelletti
Planner III

Approved by



GARY PATTON
Deputy Director of Planning and Zoning

Approved for forwarding to the
Planning Commission:



WALTER COHEN
Director
Community and Economic Development Agency

ATTACHMENTS:

- A. Project Drawings (dated June 3, 2009; received June 10, 2009)

ATTACHMENT A

**Project Drawings
(Dated June 3, 009; Received June 10, 2009)**

51ST & BROADWAY

OAKLAND, CALIFORNIA



COVER SHEET

- PA1 PROPOSED AERIAL SITE PLAN - SAFEWAY
- PA2 PROPOSED AERIAL SITE PLAN - LEVEL 2
- PA3 SITE PLAN (Existing Trees Survey & Site Lighting)
- PA4 SITE SECTIONS
- PA5 EXTERIOR ELEVATIONS
- PA6 EXTERIOR ELEVATIONS
- PA7 EXTERIOR ELEVATIONS
- PA8 EXTERIOR ELEVATIONS/ ENLARGED PLAZA PLAN
- PA9 EXISTING SITE PLAN
- PA10 AERIAL OF EXISTING SITE PLAN
- PA11 EXISTING SITE PHOTOS
- PA12 EXISTING CONTEXTUAL VIEWS
- PA13 EXISTING CONTEXTUAL VIEWS
- PA14 DEMO AND PHASE PLANS
- PA15 EXISTING AERIAL PERSPECTIVES
- PA16 BEFORE & AFTER AERIAL PERSPECTIVES

- C1.0 PRELIMINARY GRADING PLAN
- C2.0 PRELIMINARY STORM WATER MANAGEMENT PLAN

- 01 TOPOGRAPHIC SURVEY
- 02 TOPOGRAPHIC SURVEY
- 03 TOPOGRAPHIC SURVEY
- 04 TOPOGRAPHIC SURVEY

- LS01 LANDSCAPE PLAN
- LS02 LANDSCAPE PLAN



SAFEWAY 
Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

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BENNER
STANGE
ASSOCIATES
ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
bsa@bsaarch.com



BSAA
Architecture & Planning



① PROPOSED AERIAL SITE PLAN - SAFEWAY
SCALE: 40' = 1"0"



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SAFEWAY 
Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

51ST & Broadway
Store No. 3132
Oakland, California

BENNER
STANGE
ASSOCIATES
ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
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① PROPOSED AERIAL SITE PLAN - LEVEL 2
SCALE: 60' = 1"=0'



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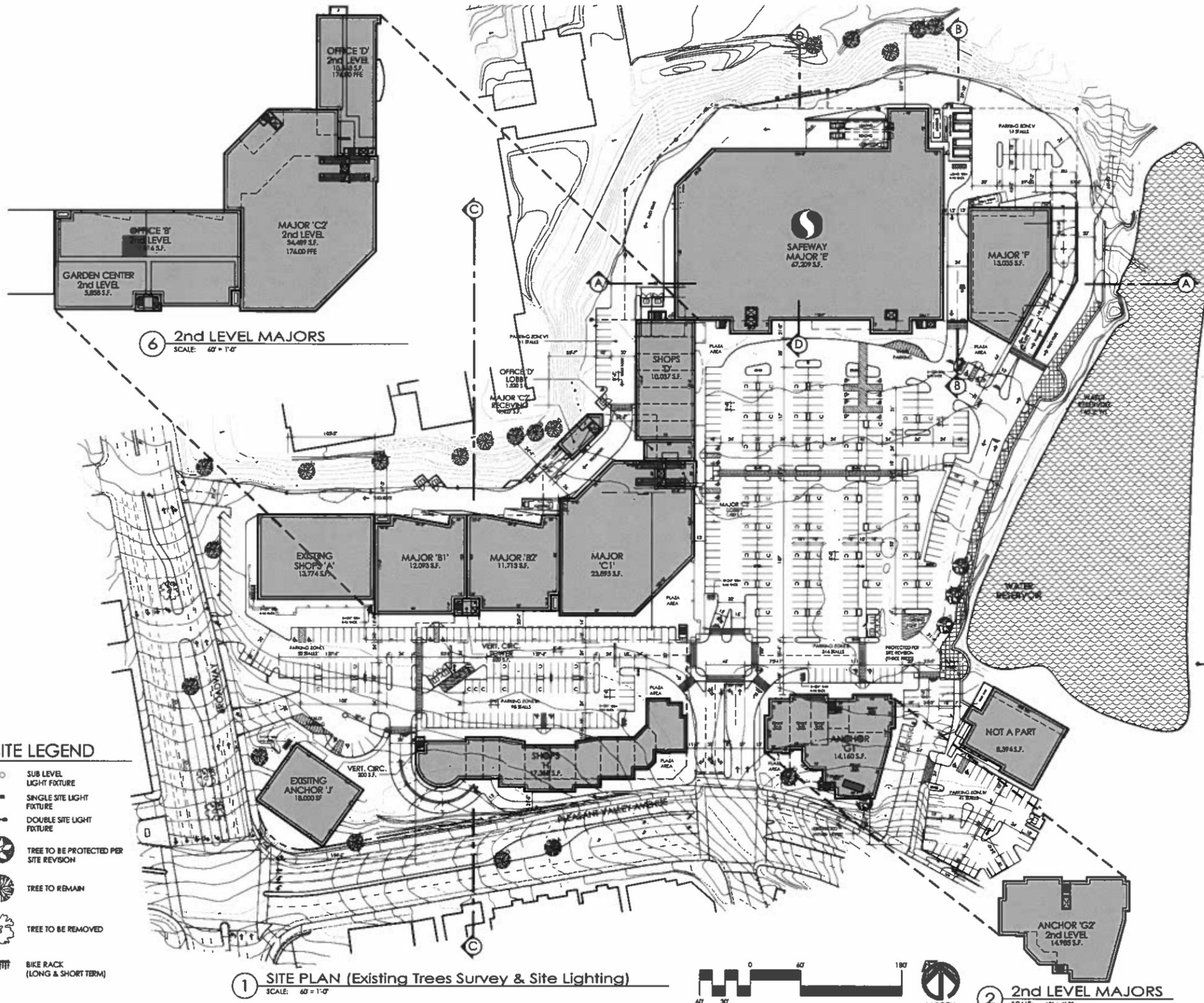
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Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

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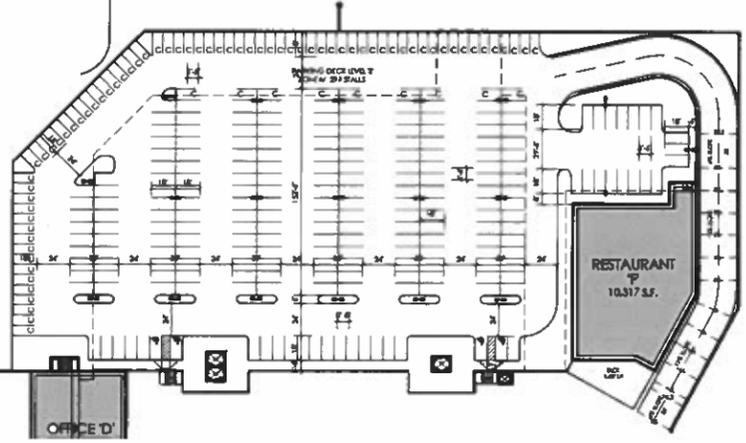
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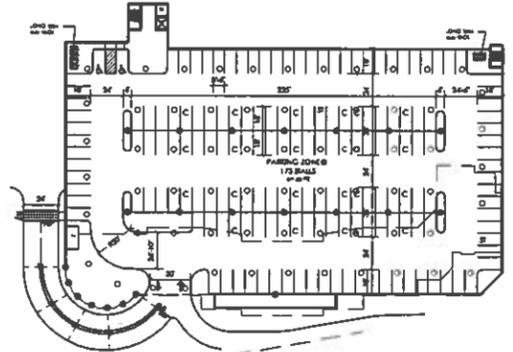
SITE DATA :

SITE AREA :	15.40 ACRES	670,824 S.F.	REQ. PARKING
Shops 'A' (Existing) :	13,774 S.F.		34 STALLS
MAJOR 'B1' :	12,093 S.F.		30 STALLS
MAJOR 'B2' :	11,713 S.F.		29 STALLS
MAJOR 'C1' :	23,895 S.F.		60 STALLS
MAJOR 'C2' RECEIVING :	1,427 S.F.		4 STALLS
SHOPS 'D' :	10,037 S.F.		25 STALLS
MAJOR 'E' - SAFEWAY :	67,209 S.F.		336 STALLS
MAJOR 'F' :	13,035 S.F.		33 STALLS
ANCHOR 'G1' (including vert. circ.) :	14,160 S.F.		35 STALLS
SHOPS 'H' :	17,358 S.F.		43 STALLS
ANCHOR 'J' (Existing 3 story) :	18,000 S.F.		30 STALLS
SECOND LEVEL :			
GARDEN CENTER :	5,858 S.F.		15 STALLS
OFFICE 'B' :	18,816 S.F.		47 STALLS
MAJOR 'C2' (including vert. circ./loading) :	34,489 S.F.		86 STALLS
OFFICE 'D' (including vert. circ.) :	10,445 S.F.		26 STALLS
RESTAURANT 'F' :	10,317 S.F.		129 STALLS
RESTAURANT 'F' Deck :	1,427 S.F.		18 STALLS
ANCHOR 'G2' (including vert. circ.) :	14,985 S.F.		37 STALLS
CIRCULATION :			
VERTICAL CIRCULATION :	600 S.F.		
MAJOR 'B1' STAIRS :	187 S.F.		
MAJOR 'B2' STAIRS :	187 S.F.		
MAJOR 'C2' LOBBY :	1,400 S.F.		
OFFICE 'D' LOBBY / STAIRS :	1,720 S.F.		
SHOPS 'H' STAIRS :	334 S.F.		
TOTAL BUILDING AREA :	303,466 S.F.		
PARKING PROVIDED :			
STANDARD PARKING PROVIDED :	893 SPACE		
COMPACT PARKING PROVIDED :	10%	97 SPACE	
HANDICAP PARKING PROVIDED :		31 SPACE	
TOTAL PARKING PROVIDED :	1,021 SPACE		1,011 STALLS
PARKING RATIO : 3.34 SPACES / 1000 S.F.			
SITE COVERAGE : 45%			

6 2nd LEVEL MAJORS
SCALE: 60' = 1'-0"



4 PARKING DECK - LEVEL 2
SCALE: 60' = 1'-0"



3 PARKING SUB LEVEL
SCALE: 60' = 1'-0"

- SITE LEGEND**
- SUB LEVEL LIGHT FIXTURE
 - SINGLE SITE LIGHT FIXTURE
 - DOUBLE SITE LIGHT FIXTURE
 - TREE TO BE PROTECTED PER SITE REVISION
 - TREE TO REMAIN
 - TREE TO BE REMOVED
 - BIKE RACK (LONG & SHORT TERM)

1 SITE PLAN (Existing Trees Survey & Site Lighting)
SCALE: 60' = 1'-0"



2 2nd LEVEL MAJORS
SCALE: 60' = 1'-0"

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Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

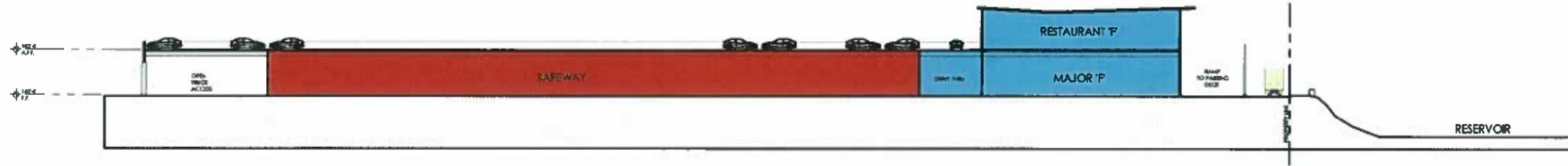
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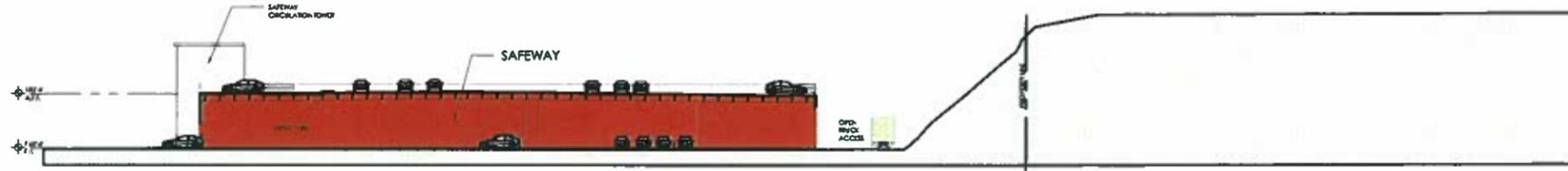


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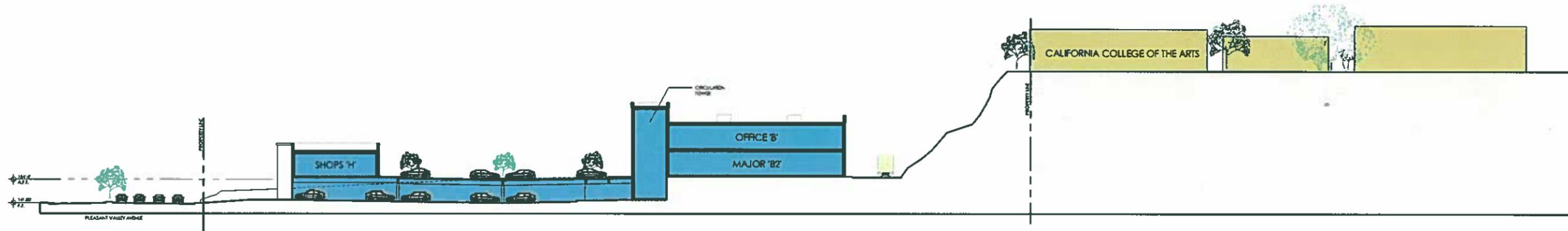
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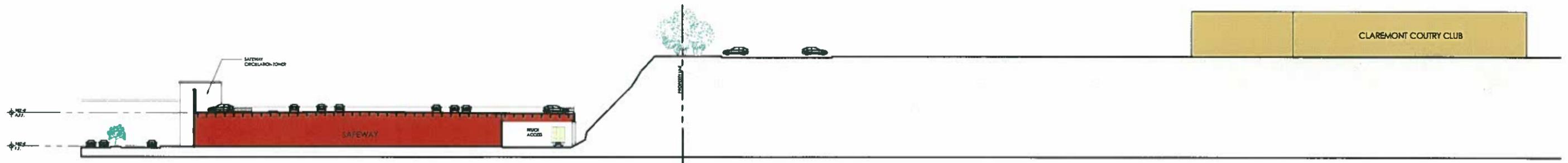
1 SITE SECTION A - A
SCALE: 1" = 30'-0"



2 SITE SECTION B - B
SCALE: 1" = 30'-0"



3 SITE SECTION C - C
SCALE: 1" = 30'-0"



4 SITE SECTION D - D
SCALE: 1" = 30'-0"

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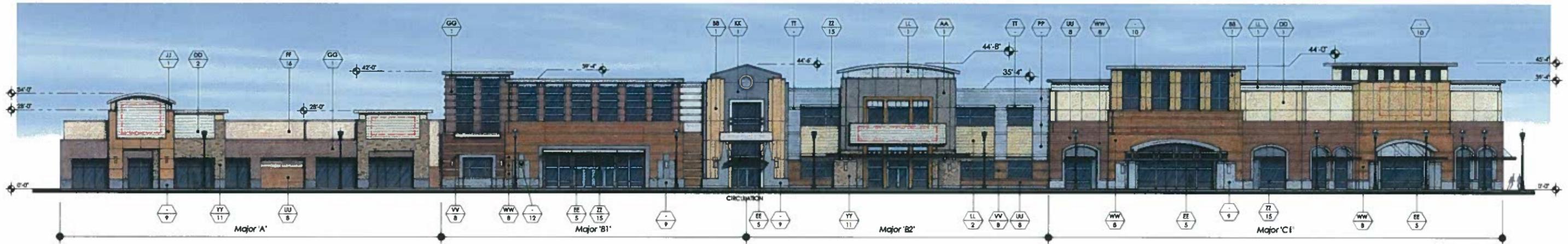
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1 MAJOR 'A', 'B1', 'B2' AND 'C1' EXTERIOR SOUTH ELEVATIONS
SCALE: 1/16"=1'-0"



2 MAJOR 'A' EXTERIOR WEST ELEVATIONS
SCALE: 1/16"=1'-0"



3 MAJOR 'C1' AND SHOPS 'D' EXTERIOR EAST ELEVATIONS
SCALE: 1/16"=1'-0"



4 SAFEWAY AND SHOPS 'F' EXTERIOR SOUTH ELEVATIONS
SCALE: 1/16"=1'-0"

EXTERIOR ELEVATIONS MATERIAL AND COLOR

①	Dark Brown Hardwood	⑩	White
②	Dark Brown Hardwood	⑪	White
③	Dark Brown Hardwood	⑫	White
④	Dark Brown Hardwood	⑬	White
⑤	Dark Brown Hardwood	⑭	White
⑥	Dark Brown Hardwood	⑮	White
⑦	Dark Brown Hardwood	⑯	White
⑧	Dark Brown Hardwood	⑰	White
⑨	Dark Brown Hardwood	⑱	White
⑩	Dark Brown Hardwood	⑲	White
⑪	Dark Brown Hardwood	⑳	White
⑫	Dark Brown Hardwood	㉑	White
⑬	Dark Brown Hardwood	㉒	White
⑭	Dark Brown Hardwood	㉓	White
⑮	Dark Brown Hardwood	㉔	White
⑯	Dark Brown Hardwood	㉕	White
⑰	Dark Brown Hardwood	㉖	White
⑱	Dark Brown Hardwood	㉗	White
⑲	Dark Brown Hardwood	㉘	White
㉑	Dark Brown Hardwood	㉙	White
㉒	Dark Brown Hardwood	㉚	White
㉓	Dark Brown Hardwood	㉛	White
㉔	Dark Brown Hardwood	㉜	White
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㉘	Dark Brown Hardwood	㊱	White
㉙	Dark Brown Hardwood	㊲	White
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㊷	Dark Brown Hardwood	㊿	White

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1 ANCHOR 'G'
EXTERIOR NORTH ELEVATIONS
SCALE: 1/16"=1'-0"



2 ANCHOR 'G'
EXTERIOR WEST ELEVATIONS
SCALE: 1/16"=1'-0"



3 ANCHOR 'G'
EXTERIOR SOUTH ELEVATIONS
SCALE: 1/16"=1'-0"



4 ANCHOR 'G'
EXTERIOR EAST ELEVATIONS
SCALE: 1/16"=1'-0"

EXTERIOR ELEVATIONS
MATERIAL AND COLOR

AA	DUNN EDWARDS' 1546 GARGOYLE	1	STUCCO
BB	DUNN EDWARDS' DEC-760 DESERT GRAY	2	METAL PANELING
CC	DUNN EDWARDS' DE-4172 BUNGALOW TAUPE	AA	SPLIT FACED C.M.U. PAINTED
DD	DUNN EDWARDS' HC-83 GRANDE BBOGE	3	SMOOTH FACED C.M.U. PAINTED
EE	DUNN EDWARDS' DEA-187 BLACK	4	METAL CANOPY
FF	1CT A 1824 CAMEL TAN	5	METAL AWNING
GG	1CT A 1679 SQUARE DANCE	6	METAL TRELLIS
HH	'BENJAMIN MOORE' 2114-30 DESERT SHADOWS	7	BRICK
II	1CT A 1743 AFTERNOON TEA	8	PRECAST CONCRETE
JK	1CT A 2004 CHARCOAL SLATE	9	SPANDREL GLAZING
LL	1CT A 1943 WEST COAST GREY	10	CULTURED STONE
MM	1CT A 1784 ARROW WOOD	11	EXTERIOR LIGHT FIXTURE
NN	'BASALITE' D390 SPLIT FACE	12	METAL RAIL
PP	'BASALITE' D389 SPLIT FACE	13	MISC. METAL
QQ	'BASALITE' D375 SPLIT FACE	14	ALUMINUM STOREFRONT
RR	'BASALITE' D373 GROUND FACE	15	EXISTING
SS	'BASALITE' D113 SPLIT FACE		
TT	'BASALITE' D113 GROUND FACE		
UU	'H.C. MUDDOX' 1183 BURN ROSE		
VV	'H.C. MUDDOX' 437 CARR		
WW	'H.C. MUDDOX' 1230 MOUNTAIN ROSE		
XX	ROCK-IT 'EDGESTONE' SakeWay Lifestyle Standards		
YY	'ELDORADO' MOUNTAIN LEDGE - DURANGO		
ZZ	ALUMINUM STOREFRONT - BLACK ANODIZED		
AA	'CUSTOM-BILT' METAL ROOF KYMAR 500 - STORM GRAY		
BB	'CUSTOM-BILT' METAL AWNING KYMAR 500 MIDNIGHT BRONZE		

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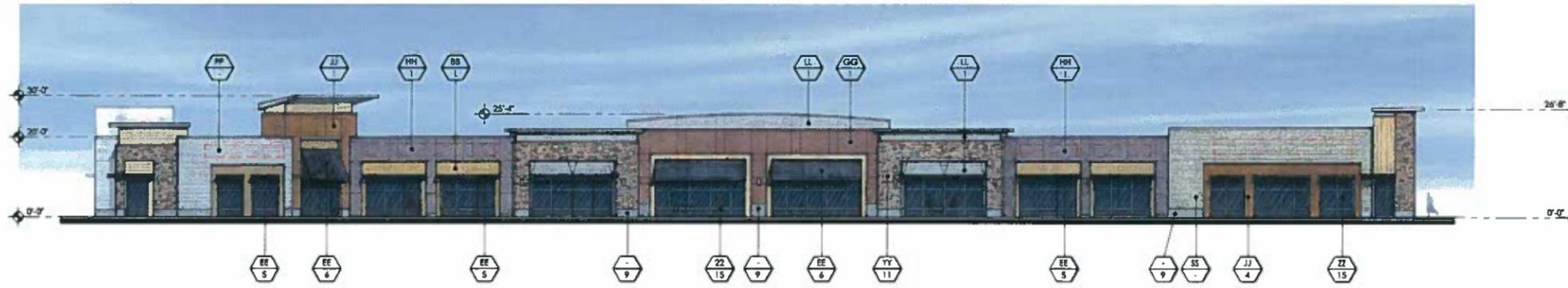
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ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
bso@bsaarch.com

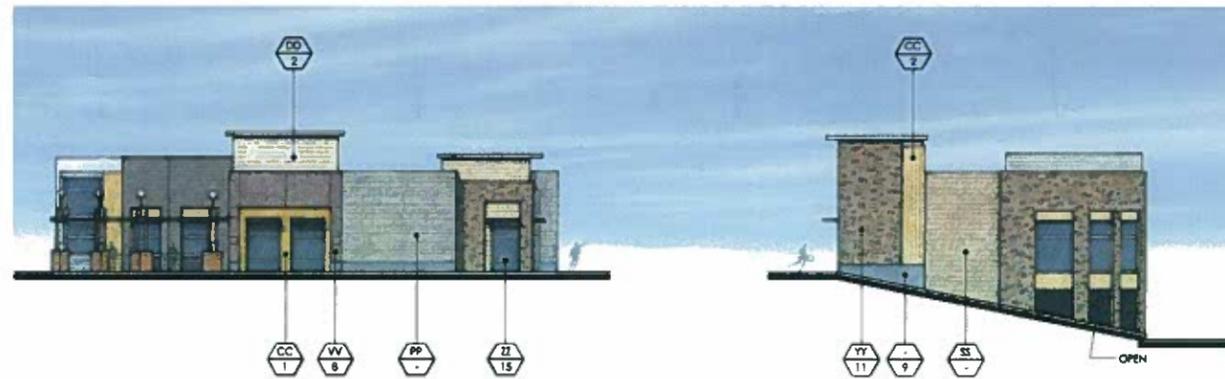


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Dev. Review : 06/03/09



1 SHOPS 'H'
EXTERIOR NORTH ELEVATIONS
SCALE: 1/16"=1'-0"



2 SHOPS 'H'
EXTERIOR SOUTH ELEVATIONS
SCALE: 1/16"=1'-0"

3 SHOPS 'H'
EXTERIOR WEST ELEVATIONS
SCALE: 1/16"=1'-0"



4 SHOPS 'H'
EXTERIOR SOUTH ELEVATIONS
SCALE: 1/16"=1'-0"

EXTERIOR ELEVATIONS
MATERIAL AND COLOR

AA	DUNN EDWARDS 1544 GARGOYLE	1	SPUCCO
BB	DUNN EDWARDS DEC 760 DESERT GRAY	2	METAL PANELING
CC	DUNN EDWARDS DE-4 172 BUNGALOW TAUPE	AA	SPLIT FACED C.M.U. PAINTED
DD	DUNN EDWARDS HC 85 GRANITE BEIGE	3	SMOOTH FACED C.M.U. PAINTED
EE	DUNN EDWARDS DEA-87 BLACK	4	METAL CANOPY
FF	KCI A 1824 CAMEL TAN	5	METAL AWNING
GG	KCI A 1679 SQUARE DANCE	6	METAL TRUSS
HH	BENJAMIN MOORE 2114-30 DESERT SHADOWS	7	BRICK
JJ	KCI A 1743 AFTERNOON TEA	8	PRECAST CONCRETE
KK	KCI A2006 CHARCOAL SLATE	9	SPANDREL GLAZING
LL	KCI A 1943 WEST COAST GREY	10	CULTURED STONE
MM	KCI A 1784 ARROW WOOD	11	EXTERIOR LIGHT FIXTURE
NH	BASALITE D390 SPLIT FACE	12	METAL RAIL
PP	BASALITE D389 SPLIT FACE	13	MISC. METAL
QQ	BASALITE D375 SPLIT FACE	14	ALUMINUM @ FRONT
RR	BASALITE D375 GROUND FACE	15	EXISTING
SS	BASALITE @113 SPLIT FACE	16	
TT	BASALITE @113 GROUND FACE		
UU	H.C. MUDDOX 1183 BURN ROSE		
VV	H.C. MUDDOX 437 CARB		
WW	H.C. MUDDOX 1230 MOUNTAIN ROSE		
XX	ROCK-IT LEDGESTONE 'SafeWay Lifestyle' Standard		
YY	ELDORADO MOUNTAIN LEDGE - DURANGO		
ZZ	ALUMINUM STOREFRONT - BLACK ANODIZED		
AZ	'CUSTOM-BILT' METAL ROOF KYNAR 500 - STORM GRAY		
BZ	'CUSTOM-BILT' METAL AWNING KYNAR 500 MIDNIGHT BRONZE		

SAFeway
Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

51ST & Broadway
Store No. 3132
Oakland, California

BENNER
STANGE
ASSOCIATES
ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
bsa@bsaarch.com



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Dev. Review : 06/03/09

EXTERIOR ELEVATIONS
MATERIAL AND COLOR

- AA - DUNN EDWARDS' 1544 GARGOYLE
- BB - DUNN EDWARDS' 12EC-740 DESERT GRAY
- CC - DUNN EDWARDS' 05E-4172 BUNGALOW BALBE
- DD - DUNN EDWARDS' MC-83 GRANITE BBGE
- EE - DUNN EDWARDS' DEA-187 BLACK
- FF - TCT A 1824 CAMELIAN
- GG - TCT A 1679 SQUARE DANCE
- HH - BENJAMIN MOORE' 2114-30 DESERT SHADOWS
- II - TCT A 1763 AFTERNOON TEA
- KK - TCT A2006 CHARCOAL SLATE
- LL - TCT A 1943 WEST COAST GREY
- MM - TCT A 1784 ARROW WOOD
- NN - BASALITE' 0390 SPLIT FACE
- PP - BASALITE' 0389 SPLIT FACE
- QQ - BASALITE' 0375 SPLIT FACE
- RR - BASALITE' 0375 GROUND FACE
- SS - BASALITE' 0113 SPLIT FACE
- TT - BASALITE' D113 GROUND FACE
- UU - W.C. MUDDOX' 1183 BURNT ROSE
- VV - W.C. MUDDOX' 437 CARB
- WW - W.C. MUDDOX' 1230 MOUNTAIN ROSE
- XX - ROCK-IT LEDGESTONE Safety Layer Standard
- YY - 'ELDORADO' MOUNTAIN LEDGE - DURANGO
- ZZ - ALUMINUM STOREFRONT - BLACK ANODIZED
- AA - 'CUSTOM-BILT' METAL ROOF KYMAR 500 - STORM GRAY
- BB - 'CUSTOM-BILT' METAL AWNINGS KYMAR 500 MIDNIGHT BRONZE
- 1 - STUCCO
- 2 - METAL PANELING
- AA - SPLIT FACED C.ALU. PAINTED
- 4 - SMOOTH FACED C.ALU. PAINTED
- 5 - METAL CANOPY
- 6 - METAL AWNING
- 7 - METAL TRELLIS
- 8 - BRICK
- P - PRECAST CONCRETE
- 10 - SPANDREL GLAZING
- 11 - CULTURED STONE
- 12 - EXTERIOR LIGHT FIXTURE
- 13 - METAL RAIL
- 14 - MISC. METAL
- 15 - ALUMINUM STOREFRONT
- 16 - EXISTING



1 ANCHOR 'J' EXTERIOR SOUTH ELEVATION
SCALE: 1/16"=1'-0"



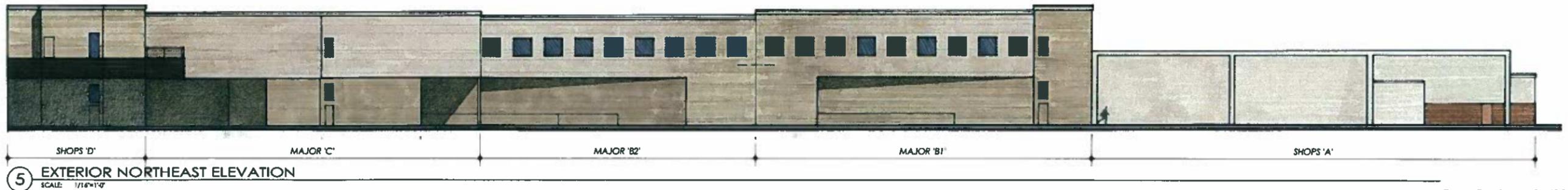
2 ANCHOR 'J' EXTERIOR EAST ELEVATION
SCALE: 1/16"=1'-0"



3 ANCHOR 'J' EXTERIOR NORTH ELEVATION
SCALE: 1/16"=1'-0"



4 ANCHOR 'J' EXTERIOR WEST ELEVATION
SCALE: 1/16"=1'-0"



5 EXTERIOR NORTHEAST ELEVATION
SCALE: 1/16"=1'-0"

KEYNOTE PLAZA PLAN



6 MAJOR 'C' ENLARGED PLAZA PLAN
SCALE: 1"=40'-0"

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Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
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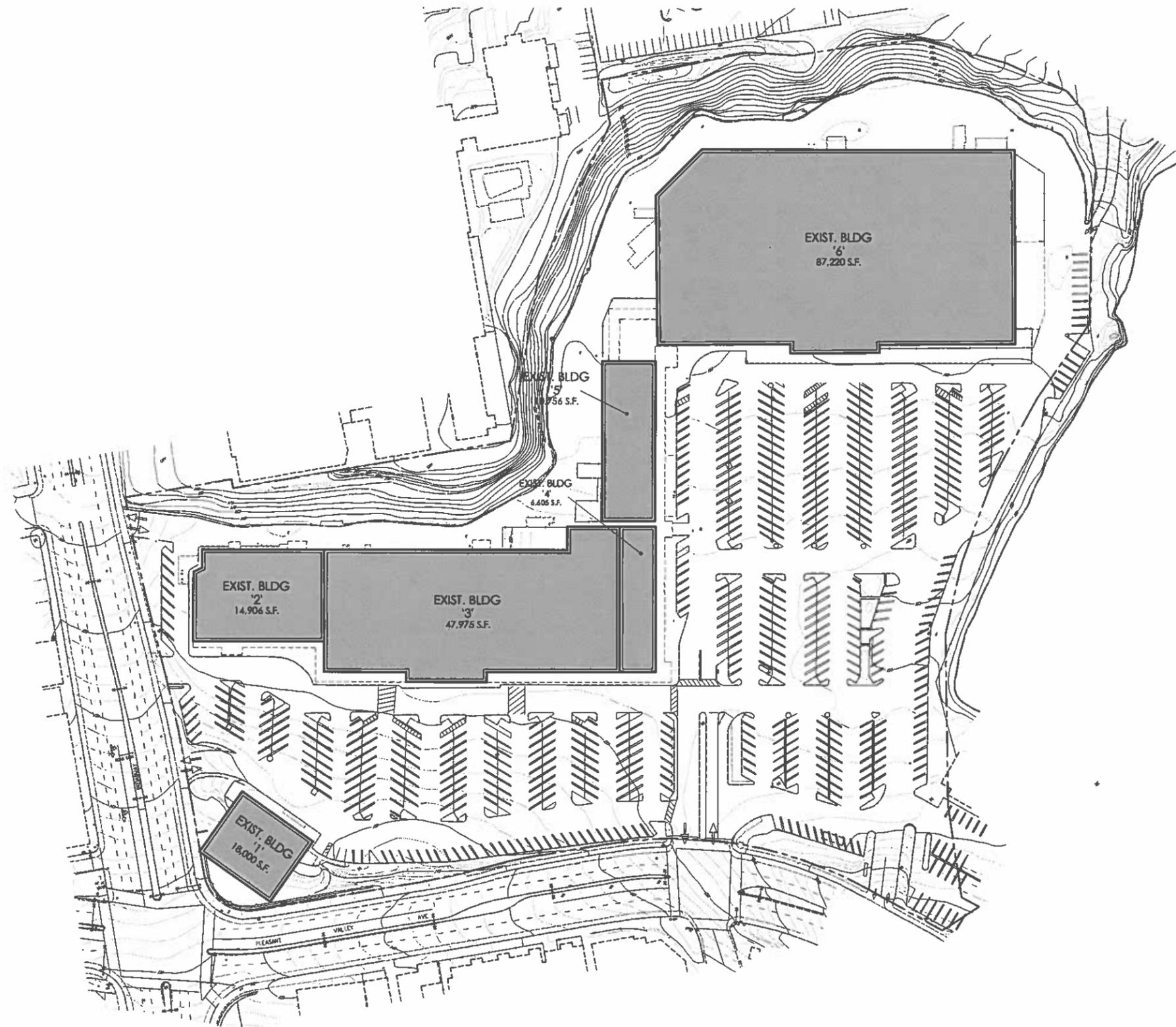
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STANGE
ASSOCIATES
ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
bsa@bsaarch.com



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Dev. Review : 06/03/09



SITE DATA :

SITE AREA :	15.40 ACRES	670,824 S.F.
EXISTING BLDG '1' 3 STORY		18,000 S.F.
EXISTING BLDG '2'		14,906 S.F.
EXISTING BLDG '3'		47,975 S.F.
EXISTING BLDG '4'		6,605 S.F.
EXISTING BLDG '5'		10,756 S.F.
EXISTING BLDG '6'		87,220 S.F.
TOTAL BUILDING AREA :		185,462 S.F.
STANDARD PARKING PROVIDED :		650 SPACE
COMPACT PARKING PROVIDED :		0 SPACE
HANDICAP PARKING PROVIDED :		17 SPACE
TOTAL PARKING PROVIDED :		667 SPACE
PARKING RATIO :		3.40 SPACES / 1000 S.F.
SITE COVERAGE :		28%

① EXISTING SITE PLAN
SCALE: 1" = 60'-0"



Dev. Review : 06/03/09

SAFeway
Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

51ST & Broadway
Store No. 3132
Oakland, California

BENNER STANGE ASSOCIATES ARCHITECTS, INC.
5000 S.W. MEADOWS RD., SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
bsa@bsaarch.com



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① AERIAL OF EXISTING SITE PLAN
SCALE: 60" = 1'-0"



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Pleasanton, CA 94588
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BENNER
STANGE
ASSOCIATES
ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 470-0234
FAX (503) 470-0235
bsa@bsaacrch.com



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Dev. Review : 06/03/09



2 **SOUTHWEST VIEW**
SCALE: N.T.S.



3 **SOUTHWEST VIEW**
SCALE: N.T.S.



4 **SOUTHWEST VIEW**
SCALE: N.T.S.



5 **SOUTHWEST VIEW**
SCALE: N.T.S.



6 **SOUTH VIEW**
SCALE: N.T.S.



7 **SOUTH VIEW**
SCALE: N.T.S.



8 **SOUTHWEST VIEW**
SCALE: N.T.S.



9 **SOUTHWEST VIEW**
SCALE: N.T.S.



10 **SOUTHWEST VIEW**
SCALE: N.T.S.



11 **SOUTHWEST VIEW**
SCALE: N.T.S.



12 **SOUTH VIEW**
SCALE: N.T.S.



13 **SOUTHWEST VIEW**
SCALE: N.T.S.



14 **SOUTHWEST VIEW**
SCALE: N.T.S.



15 **NORTHWEST VIEW**
SCALE: N.T.S.



16 **NORTHWEST VIEW**
SCALE: N.T.S.



17 **WEST VIEW**
SCALE: N.T.S.



18 **SOUTHWEST VIEW**
SCALE: N.T.S.



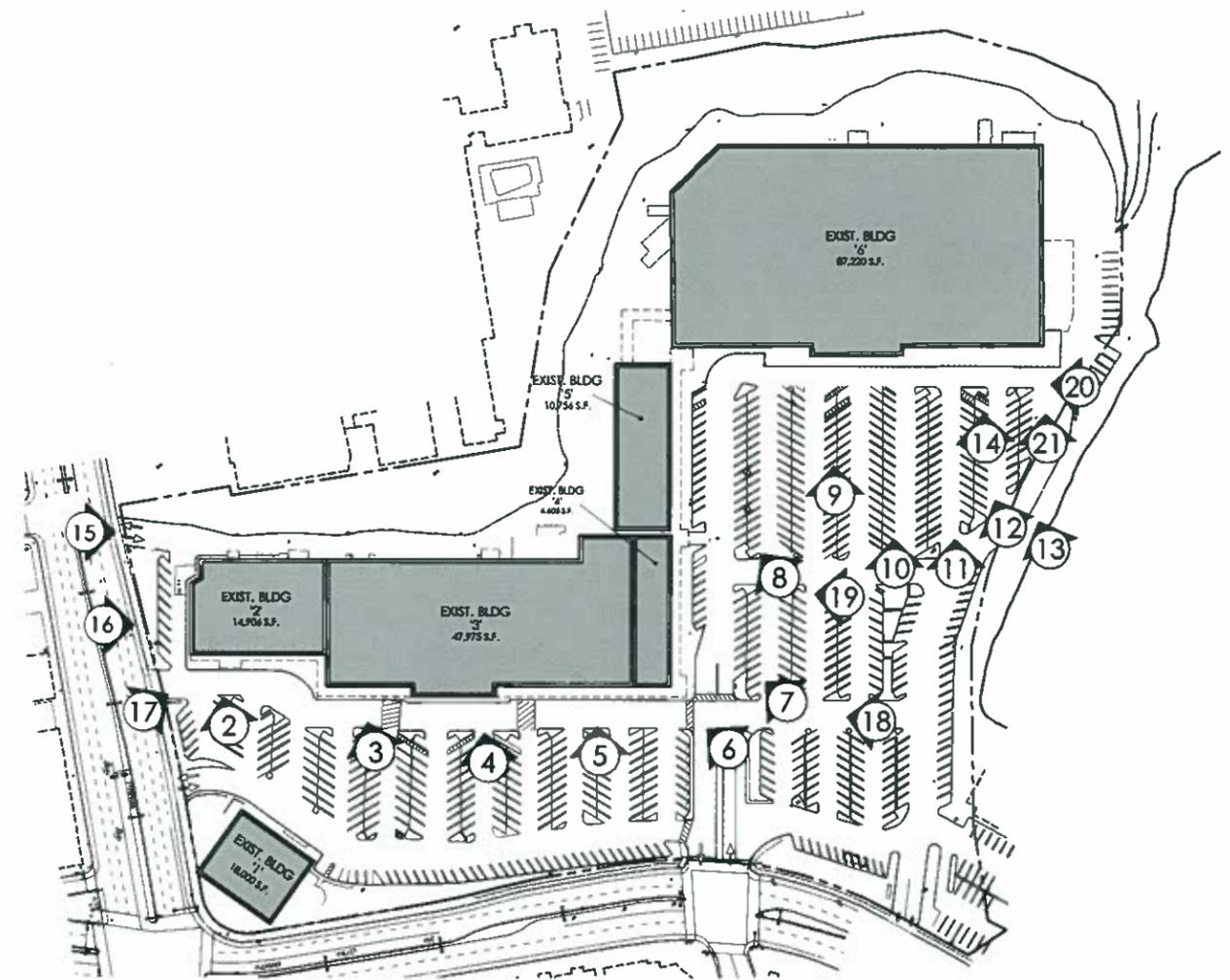
19 **SOUTHWEST VIEW**
SCALE: N.T.S.



20 **SOUTHWEST VIEW**
SCALE: N.T.S.



21 **SOUTHWEST VIEW**
SCALE: N.T.S.



1 **EXISTING SITE PLAN**
SCALE: 1" = 40'-0"



SAFeway
Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
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51ST & Broadway
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Oakland, California

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STANGE
ASSOCIATES
ARCHITECTS INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
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Dev. Review : 06/03/09



① VIEW FROM BROADWAY LOOKING SOUTHEAST
N.T.S.



② VIEW FROM PLEASANT VALLEY AVE. LOOKING SOUTHWEST
N.T.S.



③ VIEW FROM PLEASANT VALLEY AVENUE LOOKING NORTHEAST
N.T.S.



④ VIEW FROM BROADWAY LOOKING NORTHWEST
N.T.S.

Dev. Review : 06/03/09

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Northern California Division
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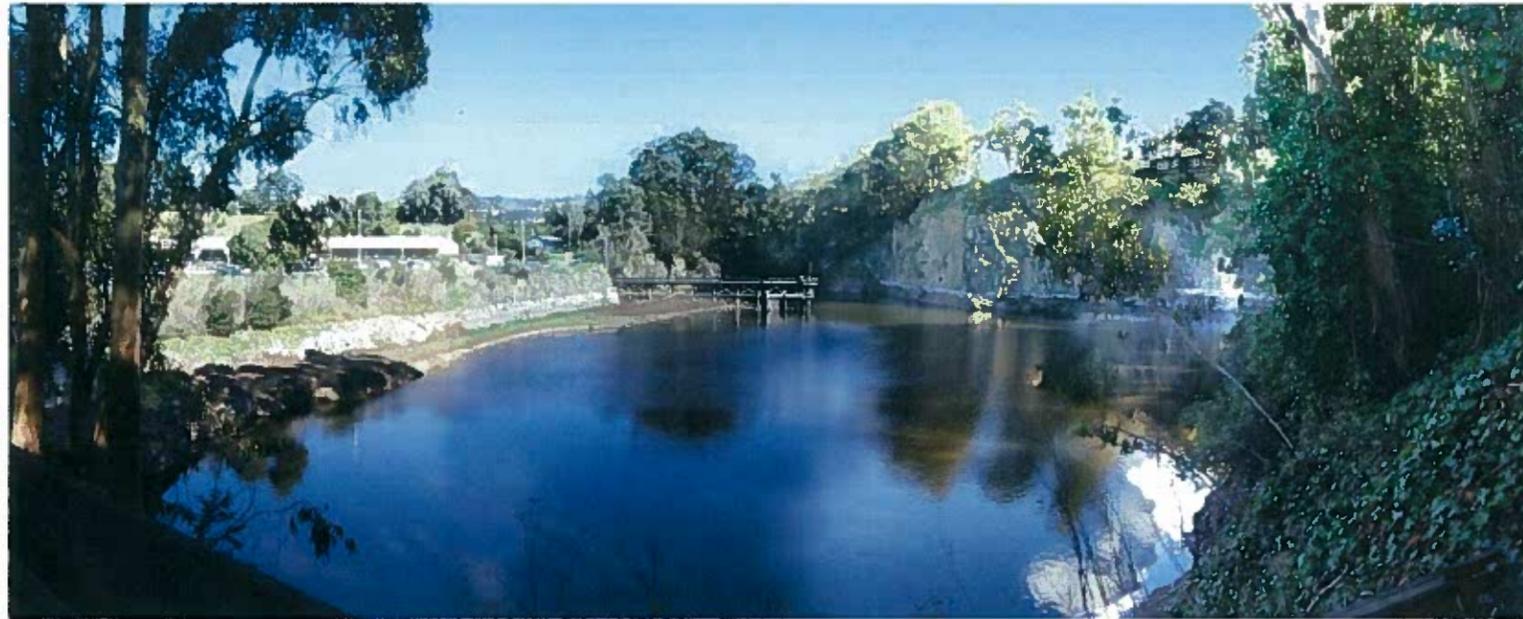
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STANGE
ASSOCIATES
ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
bsa@bsaarch.com



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① VIEW FROM BROADWAY LOOKING NORTHWEST
N.T.S.



② VIEW OF WATER RESERVOIR LOOKING NORTHEAST
N.T.S.

Dev. Review : 06/03/09

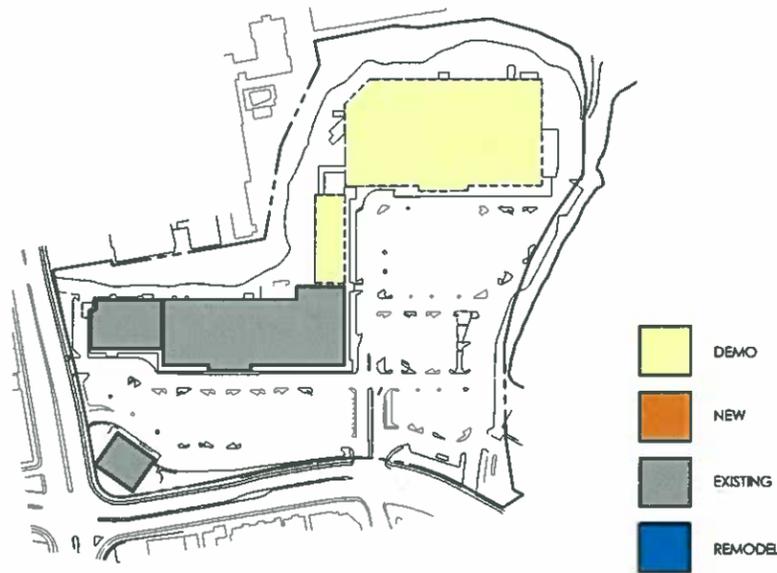
SAFeway 
Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

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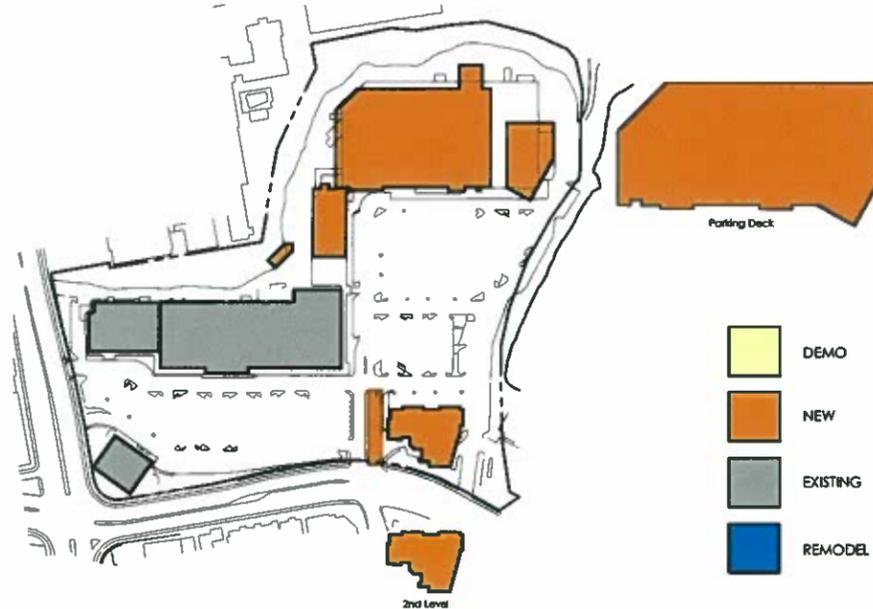
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ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
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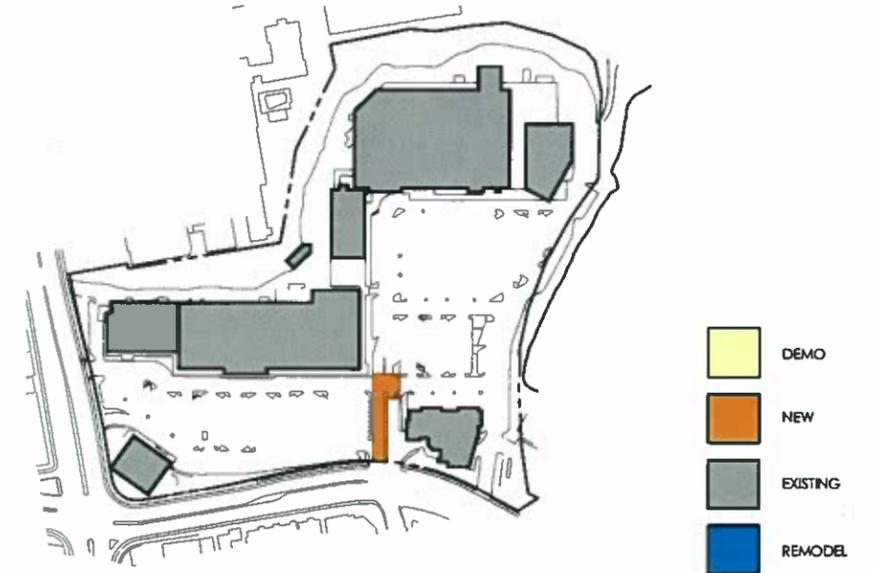
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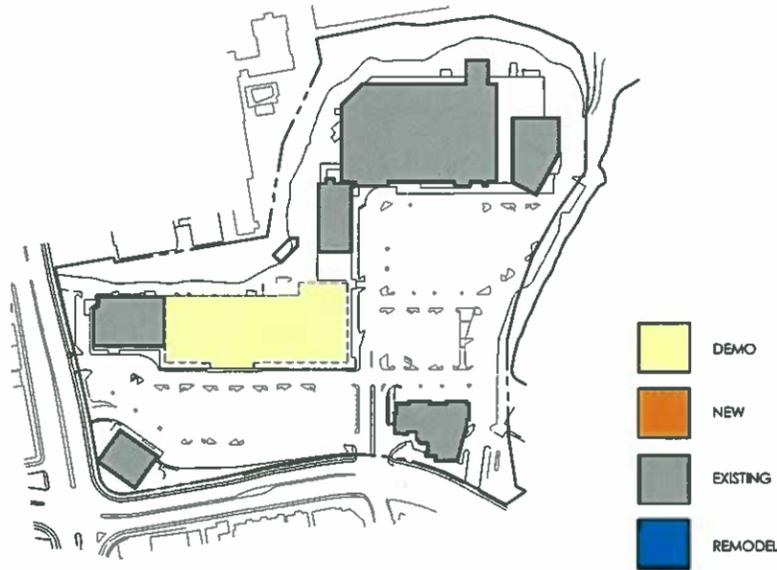
① PHASE 'I' DEMO
SCALE: N.T.S.



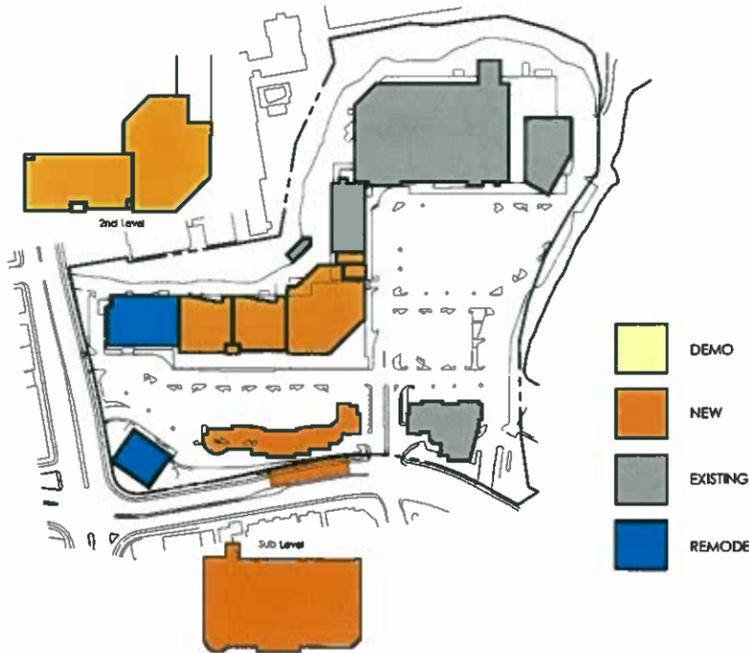
② PHASE 'I' CONSTRUCTION
SCALE: N.T.S.



③ PHASE 'IA' CONSTRUCTION
SCALE: N.T.S.



④ PHASE 'II' DEMO
SCALE: N.T.S.



⑤ PHASE 'II' CONSTRUCTION
SCALE: N.T.S.

DEMO AND PHASE PLANS



Dev. Review : 06/03/09

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Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
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51ST & Broadway
Store No. 3132
Oakland, California

BENNER
STANGE
ASSOCIATES
ARCHITECTS INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
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① EXISTING PERSPECTIVE VIEW LOOKING EAST
N.T.S.



② EXISTING PERSPECTIVE VIEW LOOKING WEST
N.T.S.



③ EXISTING PERSPECTIVE VIEW LOOKING SOUTH
N.T.S.



④ EXISTING PERSPECTIVE VIEW LOOKING NORTH
N.T.S.

Existing Aerial Perspectives

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Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

51ST & Broadway
Store No. 3132
Oakland, California

BENNER
STANGE
ASSOCIATES
ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
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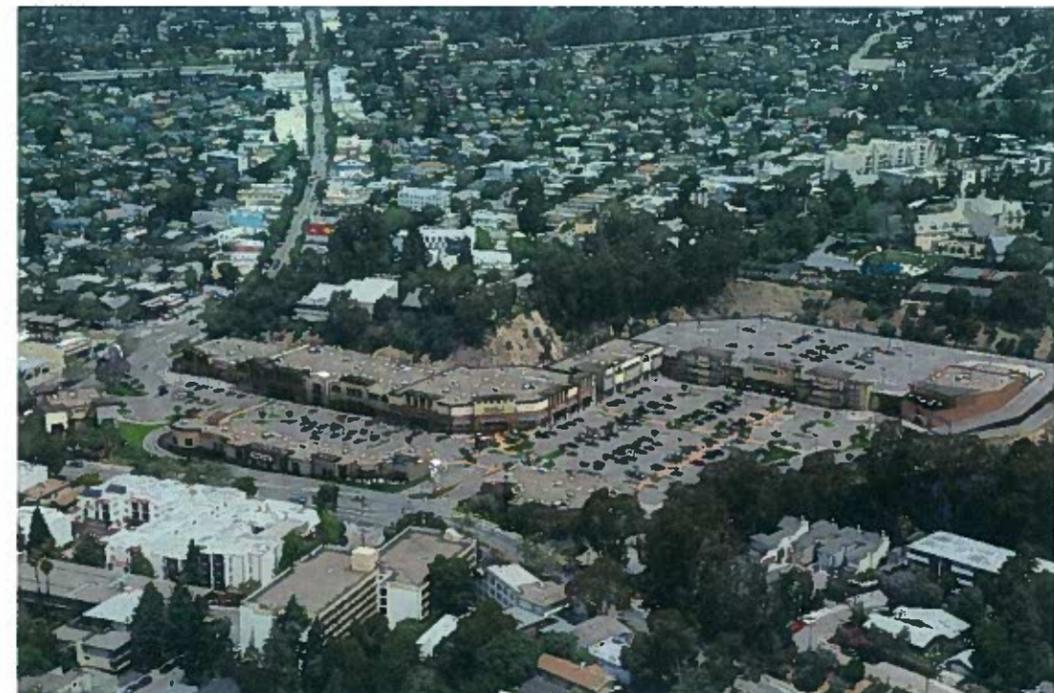
① EXISTING VIEW FROM BROADWAY LOOKING EAST
N.T.S.



② EXISTING VIEW FROM PLEASANT VALLEY LOOKING NORTH
N.T.S.



③ PROPOSED VIEW FROM BROADWAY LOOKING EAST
N.T.S.



④ PROPOSED VIEW FROM PLEASANT VALLEY LOOKING NORTH
N.T.S.

Dev. Review : 06/03/09

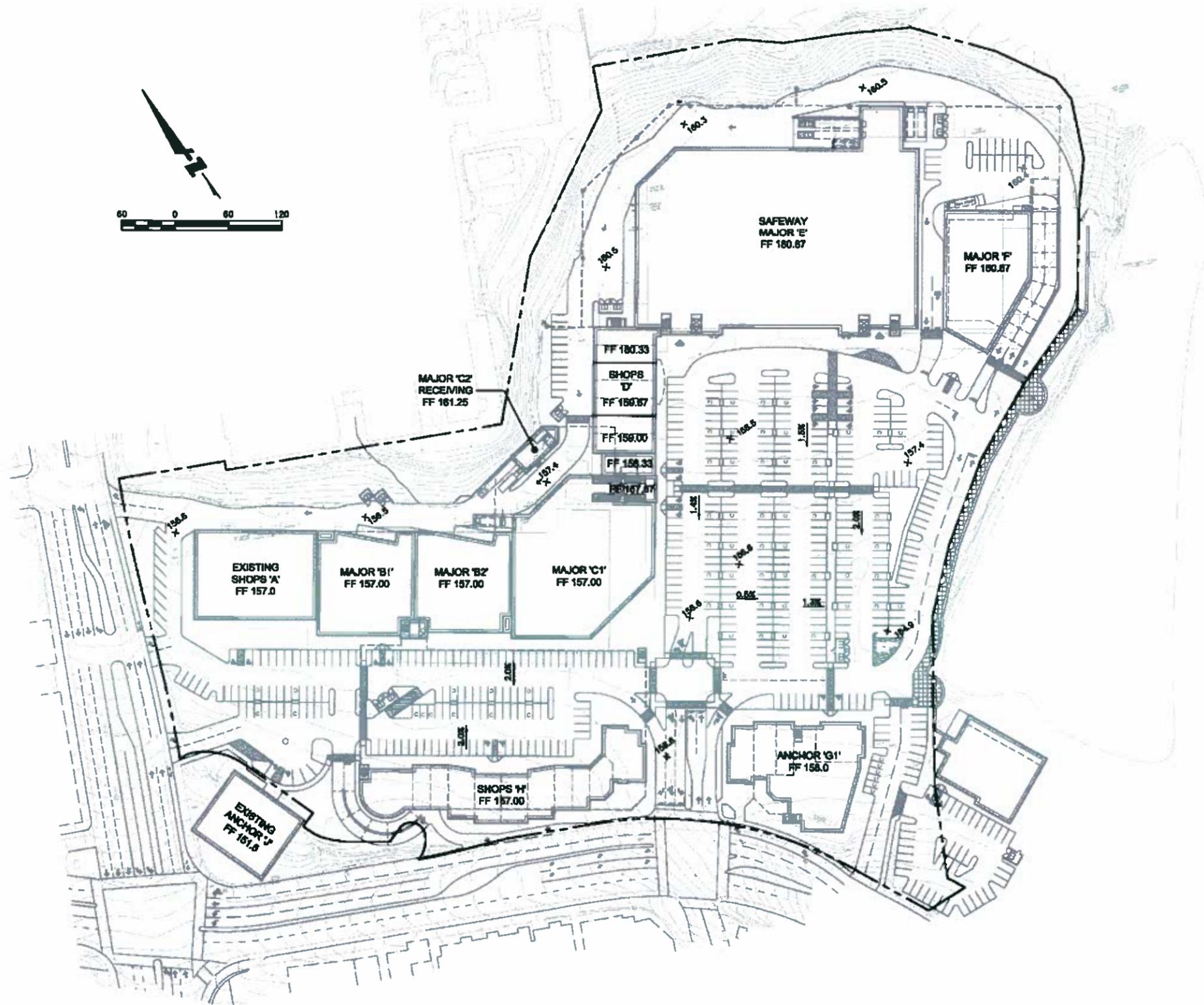
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Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

51ST & Broadway
Store No. 3132
Oakland, California

BENNER
STANGE
ASSOCIATES
ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
bsa@bsaarch.com



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1 PRELIMINARY GRADING PLAN
SCALE: N.S.S.

Dev. Review : 06/03/09

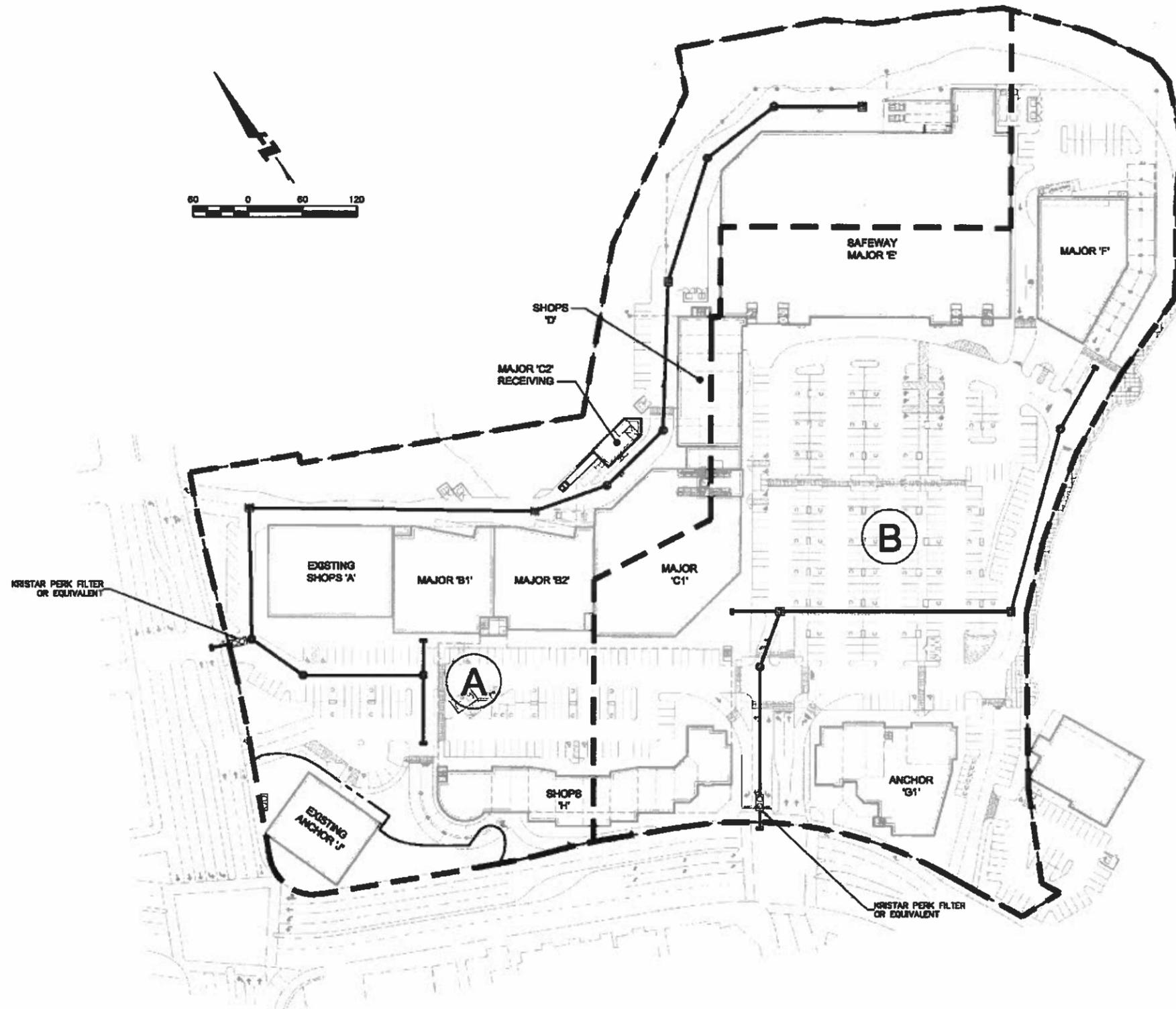
SAFEWAY 
Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

51ST & Broadway
Store No. 3132
Oakland, California

BENNER
STANGE
ASSOCIATES
ARCHITECTS, INC.
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
(503) 670-0234
FAX (503) 670-0235
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C1.0



NOTE:

UNDERGROUND STORM WATER MEDIA FILTRATION VAULTS TO BE SIZED TO MEET REQUIRED TREATMENT FLOWS.

TREATMENT FLOWS:

AREA A: Q=1.5 CFS @ C=0.8
 AREA B: Q=1.3 CFS @ C=0.8

1 PRELIMINARY STORM WATER MANAGEMENT PLAN
 SCALE: N.T.S.

Dev. Review : 06/03/09

SAFEWAY
 Northern California Division
 5918 Stoneridge Mall Road
 Pleasanton, CA 94588
 Phone: 925 467 2376
 Fax: 925 467 2861

51ST & Broadway
 Store No. 3132
 Oakland, California

BENNER
 STANGE
 ASSOCIATES
 ARCHITECTS, INC.
 5000 S.W. MEADOWS RD.
 SUITE 430
 LAKE OSWEGO, OR 97035
 (503) 670-0234
 FAX (503) 670-0235
 bsa@bsaarch.com



C2.0

2737 NORTH MAIN STREET
SUITE 200
WALNUT CREEK, CA 94596
925-940-2208 (FAX)

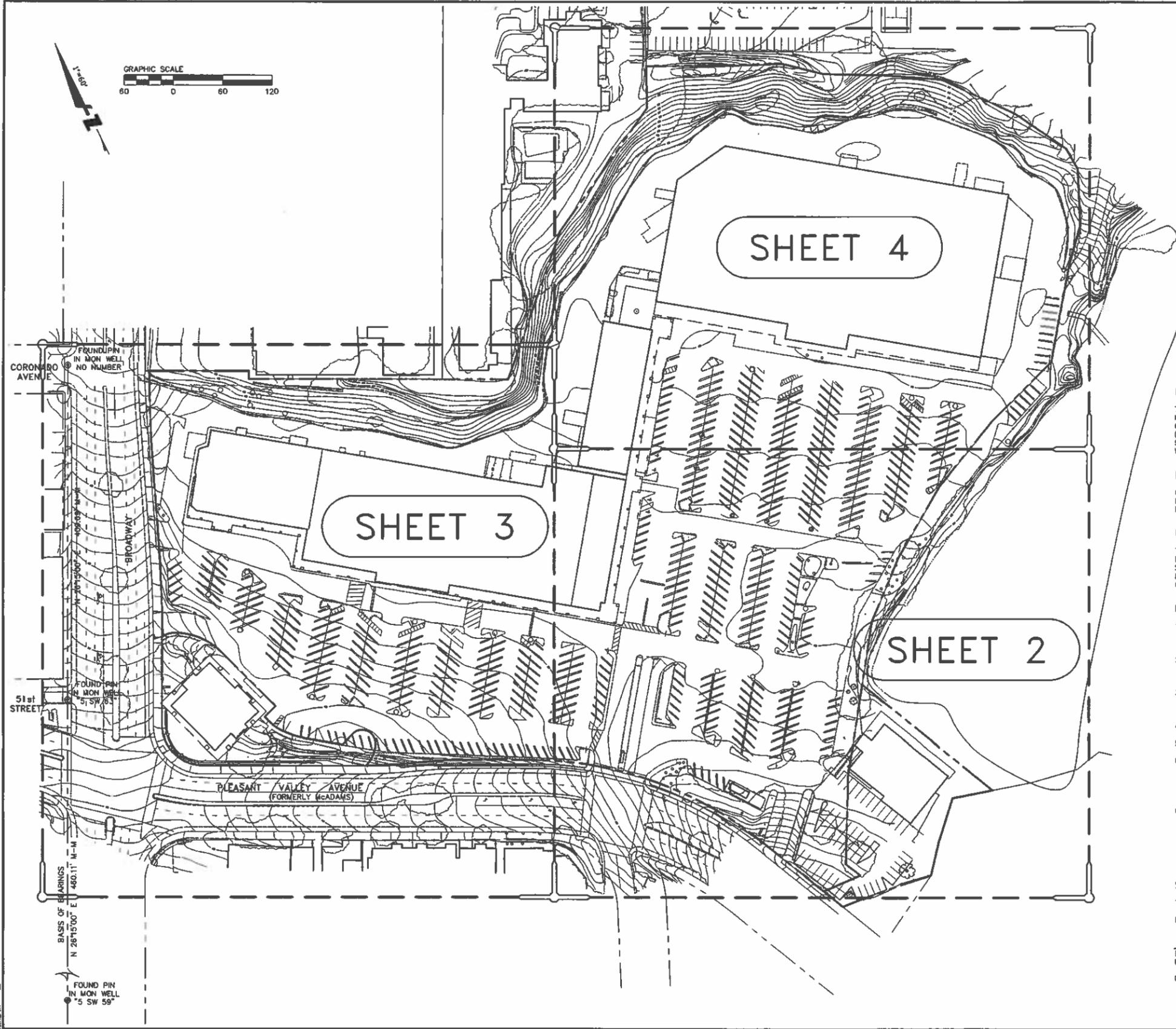
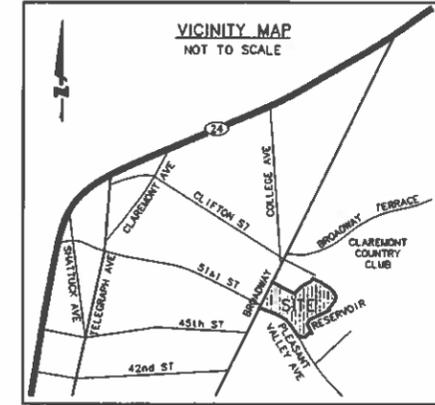


CALIFORNIA

TOPOGRAPHIC SURVEY
ROCKRIDGE SHOPPING CENTER
BROADWAY AND PLEASANT VALLEY AVENUE
CITY OF OAKLAND
ALAMEDA COUNTY

Revisions	No.	Date	By
		08/30/09	
		Scale: 1"=40'	
		Drawn: M.L.J.	
		Approved: B.T.W.	
		Job No: 20097005	

20097005-10
1 of 4



BASIS OF BEARINGS

THE BEARING "NORTH 26°15'00" EAST" ALONG BROADWAY BETWEEN FOUND MONUMENTS AS SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT 4113, OAKLAND, ALAMEDA COUNTY, CALIFORNIA, FOR CONDOMINIUM PURPOSES (CONVERSION)", FILED JUNE 27, 1979, IN BOOK 11D OF MAPS AT PAGES 92, 93 AND 94, IN THE OFFICE OF THE RECORDER OF ALAMEDA COUNTY, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK:

CITY BENCHMARK DESIGNATION 3081: FOUND CUT SQUARE AT THE NORTH RETURN AT NORTHWEST CORNER OF 51st STREET AND BROADWAY. ELEVATION = 142.971 FEET (FIELD BOOK 51, PAGE 1, ORDER 111).

UTILITY NOTE:

THE UTILITY LINES AND STRUCTURES SHOWN ON THIS SURVEY ARE DERIVED FROM RECORD DATA AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS SURVEY SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

NOTES:

- BOUNDARY AND EASEMENT INFORMATION ARE BASED ON A PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY DATED AS OF MARCH 27, 2009, ORDER NUMBER 08-59018762-8-MH, AMENDED.
- BOUNDARY AND EASEMENT INFORMATION FOR RESTAURANT SITE ARE BASED ON A PRELIMINARY TITLE REPORT PREPARED BY PLACER TITLE COMPANY DATED MAY 22, 2009, ORDER NUMBER 804-17086, UPDATE VERSION 2.
- TOPOGRAPHY SURVEY HERON WAS COMPILED USING PHOTOGAMMETRIC TECHNIQUES FROM AERIAL PHOTOGRAPHY PROVIDED TO BKF, AND SUPPLEMENTED BY A FIELD SURVEY PERFORMED MAY 13, 18, AND 19, 2009.
- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL IS 1 FOOT.
- THE EFFECT OF THAT DOCUMENT ENTITLED "MUTUAL GRANTS OF EASEMENT" BY AND BETWEEN SAFEWAY, INC. AND CLAREMONT COUNTRY CLUB THAT GRANTS EASEMENTS FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS, PARKING, AND LANDSCAPING, THE EXACT LOCATIONS OF WHICH ARE NOT DEFINED OF RECORD.
- THE EFFECT OF AN UNRECORDED LEASE DATED AUGUST 4, 1961, BY AND ALVIN B. CHAN, INC. AND SAFEWAY STORES, INCORPORATED AS DISCLOSED BY THAT CERTAIN ASSIGNMENT OF LESSOR'S INTEREST IN LEASE BY AND BETWEEN WELLS FARGO BANK AND ALVIN B. CHAN, INC., RECORDED JUNE 26, 1986, AS DOCUMENT NUMBER 88-152240, ALAMEDA COUNTY RECORDS.

SURVEYOR'S STATEMENT:

THIS SURVEY WAS PREPARED UNDER MY SUPERVISION.
FOR BKF ENGINEERS.

BARRY T. WILLIAMS, P.L.S. 6711
LICENSE EXPIRES: 08/30/10
DATED: 8/30/09



2737 NORTH MAIN STREET
SUITE 200
WALNUT CREEK, CA 94596
925-940-2200
925-940-2299 (FAX)



TOPOGRAPHIC SURVEY
ROCKRIDGE SHOPPING CENTER
BROADWAY AND PLEASANT VALLEY AVENUE
ALAMEDA COUNTY
CITY OF OAKLAND

Date: 06/03/09	Scale: 1"=30'
Drawn: JLB	Approved: BTW
Drawing Number:	Job No: 20097005
20097005-10	
2 of 4	

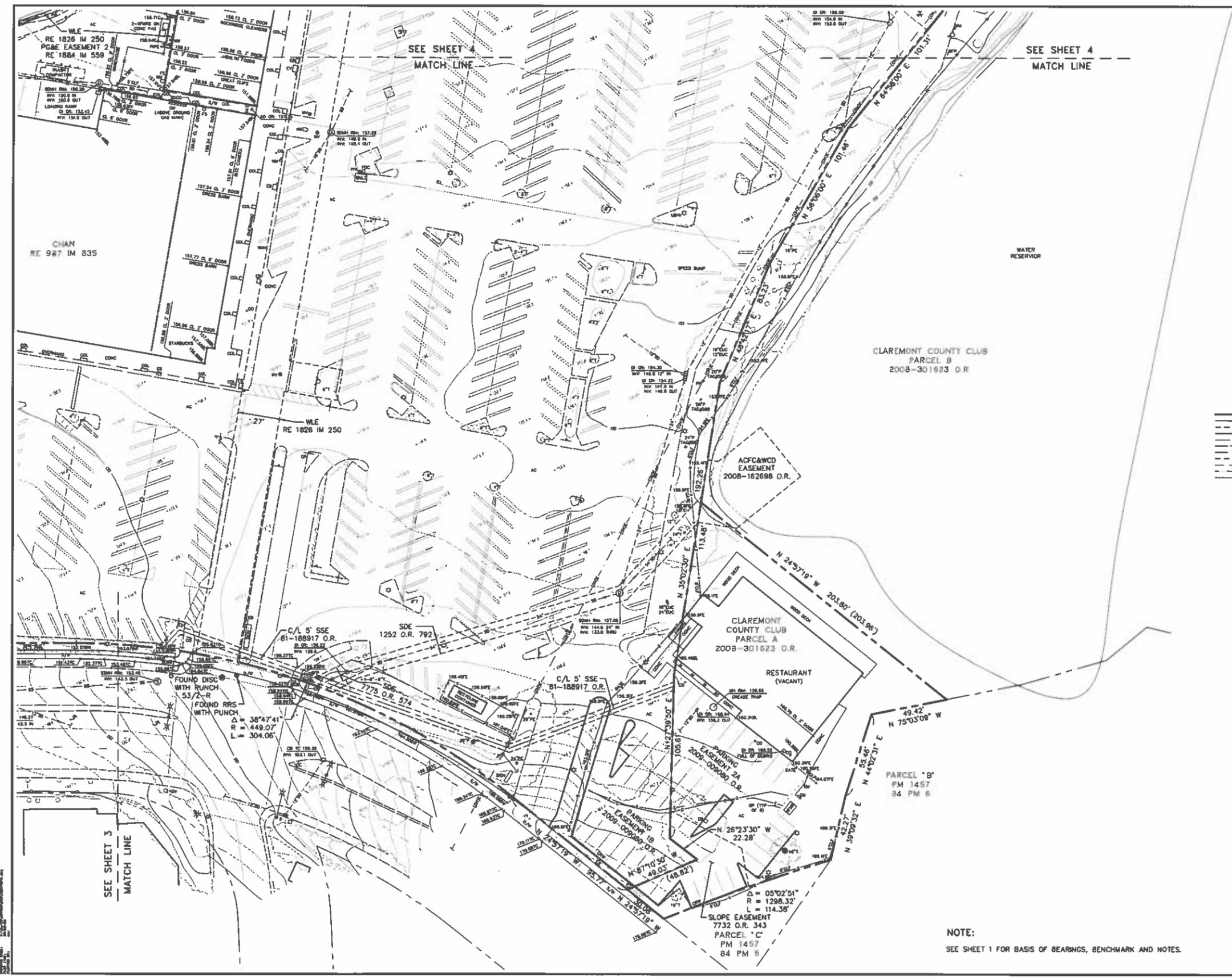
CURVE TABLE

No.	BEARING	RADIUS	LENGTH
C1	05°06'46"	723.09'	64.52'
C2	48°40'15"	37.00'	30.14'
C3	15°00'01"	128.34'	33.60'
C4	20°59'59"	52.67'	19.30'
C5	45°00'11"	79.33'	62.31'
C6	36°52'01"	25.00'	16.09'
C7	04°18'36"	1500.00'	112.84'



- LEGEND:**
- SUBJECT BOUNDARY LINE
 - MONUMENT LINE
 - EASEMENT LINE
 - CENTER LINE
 - ELECTRIC LINE
 - GAS LINE
 - OVERHEAD ELECTRIC LINE
 - STORM DRAIN LINE
 - SANITARY SEWER LINE
 - WATER LINE
 - FENCE LINE
 - FOUND STANDARD CITY MONUMENT
 - FOUND MONUMENT AS NOTED
 - ELECTRIC MANHOLE
 - ELECTROLIER
 - FIRE HYDRANT
 - SANITARY SEWER MANHOLE
 - SIGN
 - STORM DRAIN MANHOLE
 - TELEPHONE MANHOLE
 - TRAFFIC SIGNAL
 - VALVE
 - ASPHALT CONCRETE
 - AC/CMC/CO
 - XXX
 - AREA DRAIN
 - BACKFLOW PREVENTOR
 - BUILDING
 - BACK OF SIDEWALK
 - CABLE TELEVISION BOX
 - CATCH BASIN
 - CL OR C/L CENTER LINE
 - CLF CHAIN LINK FENCE
 - CO CLEANOUT
 - COL CURB
 - CONC OR C CONCRETE
 - CRW CONCRETE RETAINING WALL
 - DI DROP INLET
 - D/W DRIVEWAY
 - EB ELECTRIC BOX
 - ELEC ELECTRIC
 - 20" EUC EUCALYPTUS TREE WITH DIAMETER
 - EV ELECTRIC VALVE
 - FDC FIRE DEPARTMENT CONNECTION
 - FE FENCE
 - TT FINISH FLOOR
 - TS FIRE SERVICE
 - GM GAS METER
 - GP GUARD POST
 - GR GRATE ELEVATION
 - GV GAS VALVE
 - GVT GAS VALVE
 - HCR HANDICAP RAMP
 - IM IMAGE
 - INV: INVERT ELEVATION
 - MH MANHOLE
 - M-M MONUMENT TO MONUMENT
 - MON MONUMENT
 - O.R. OFFICIAL RECORDS
 - 20" P PINE TREE WITH DIAMETER
 - 20" PE PEPPER TREE WITH DIAMETER
 - PG&E PACTIFIC GAS AND ELECTRIC
 - PIV POST INDICATOR VALVE
 - PM PARCEL MAP
 - PP POWER POLE
 - (R) RADIAL BEARING
 - RE REEL
 - RIM: RIM ELEVATION
 - RIS RAILROAD SPIKE
 - R/W RIGHT OF WAY
 - SD STORM DRAIN
 - SDB TRAFFIC SIGNAL BOX
 - SS SANITARY SEWER
 - SSE SANITARY SEWER EASEMENT
 - S/W SIDEWALK
 - T TELEPHONE VAULT
 - 20" T TREE WITH DIAMETER
 - TC TOP OF ROLLED CURB
 - TYP TYPICAL
 - UB UTILITY BOX
 - WLE WATER LINE EASEMENT
 - WM WATER METER
 - WV WATER VALVE
 - WVT WATER VAULT
 - WTR TRANSFORMER
 - () DENOTES RECORD INFORMATION

NOTE:
SEE SHEET 1 FOR BASIS OF BEARINGS, BENCHMARK AND NOTES.

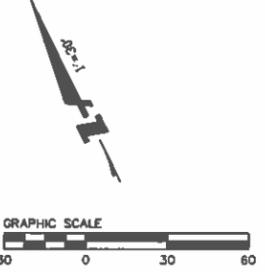
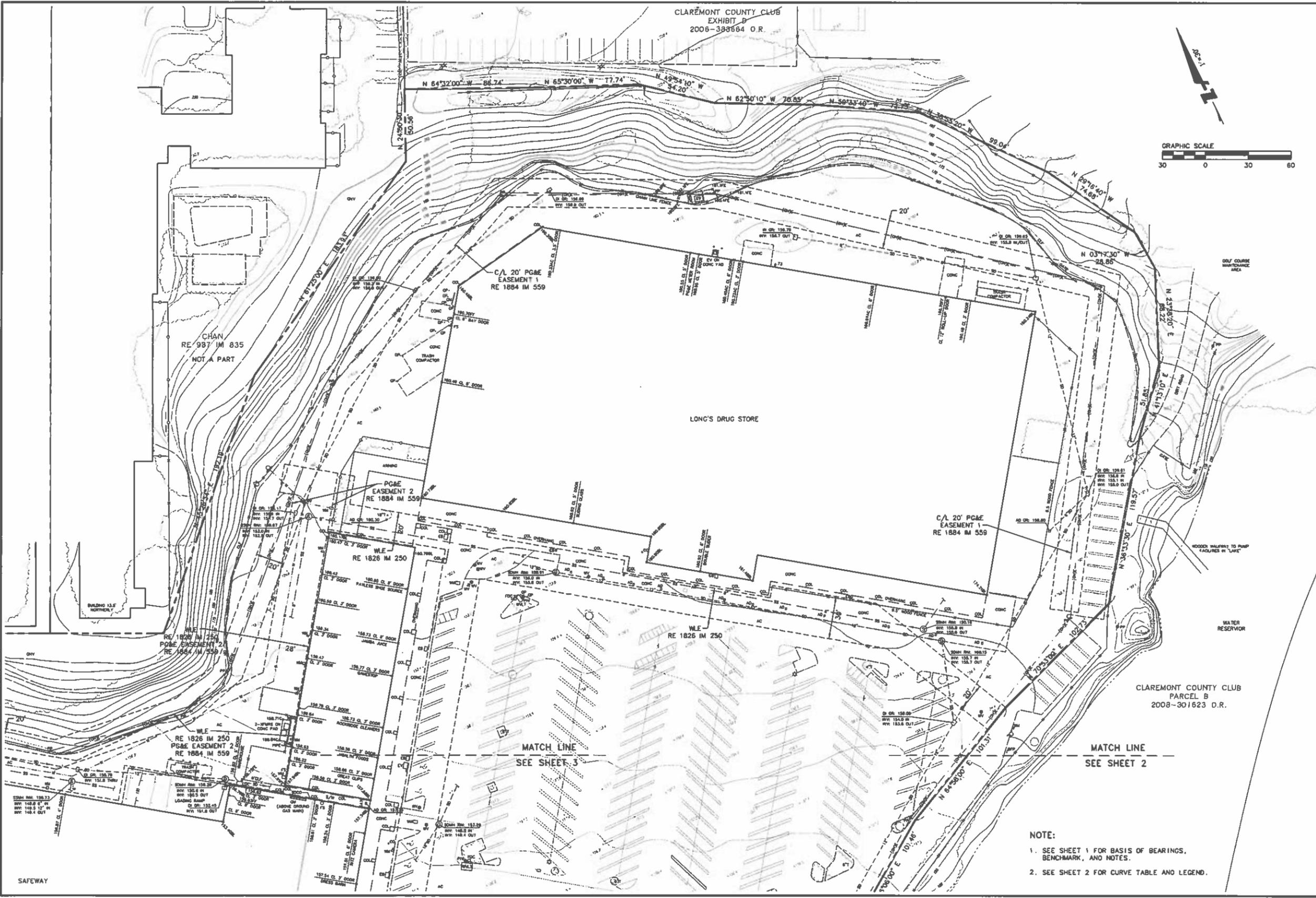


2737 NORTH MAIN STREET
SUITE 200
DUBLIN, CALIFORNIA 94568
925-840-2200 (TEL)
925-840-2299 (FAX)



TOPOGRAPHIC SURVEY
ROCKRIDGE SHOPPING CENTER
BROADWAY AND PLEASANT VALLEY AVENUE
ALAMEDA COUNTY CALIFORNIA

Revisions	
No.	
Date: 06/03/09	
Scale: 1"=30'	
Drawn: MJA	
Checked: MJA	
Approved: BTW	
Job No: 20097005	
Drawing Number:	
20097005-10	
4 of 4	



NOTE:
1. SEE SHEET 1 FOR BASIS OF BEARINGS, BENCHMARK, AND NOTES.
2. SEE SHEET 2 FOR CURVE TABLE AND LEGEND.

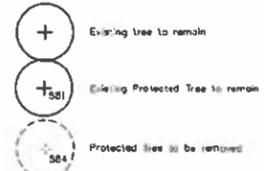
LANDSCAPE LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE/CONT.	SPACING
TREES				
LP	Lance Parasole	Platanus acerifolia 'Columbi'	24" Box	as shown
M*	Manitowish Pine	Pinus radiata	8"-10"	
SM	Southern Magnolia	Magnolia grandiflora 'D. Noyes'	24" Box	as shown

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE/CONT.	SPACING
BM	Bellevue Indigo Hawthorn	Staphylea trifolia 'Bellevue'	5 Gal.	2.5' o.c.
DI	Durford Lily	Lilium 'Durford'	3 Gal.	3' o.c.
CH	Cherry Hill Ice-cream	Phlox paniculata 'Ice-cream'	5 Gal.	3' o.c.
LDL	Libby of the Hills	Agapanthus 'Libby of the Hills'	1 Gal.	2.0' o.c.
NLT	New Zealand Flax	Phormium tenax 'New Zealand Flax'	5 Gal.	3' o.c.
RR	Rock Rose	Cistus 'Rock Rose'	5 Gal.	4' o.c.
SBV	Spring Bouquet Libanum	Wormwood 'Spring Bouquet'	5 Gal.	3.5' o.c.

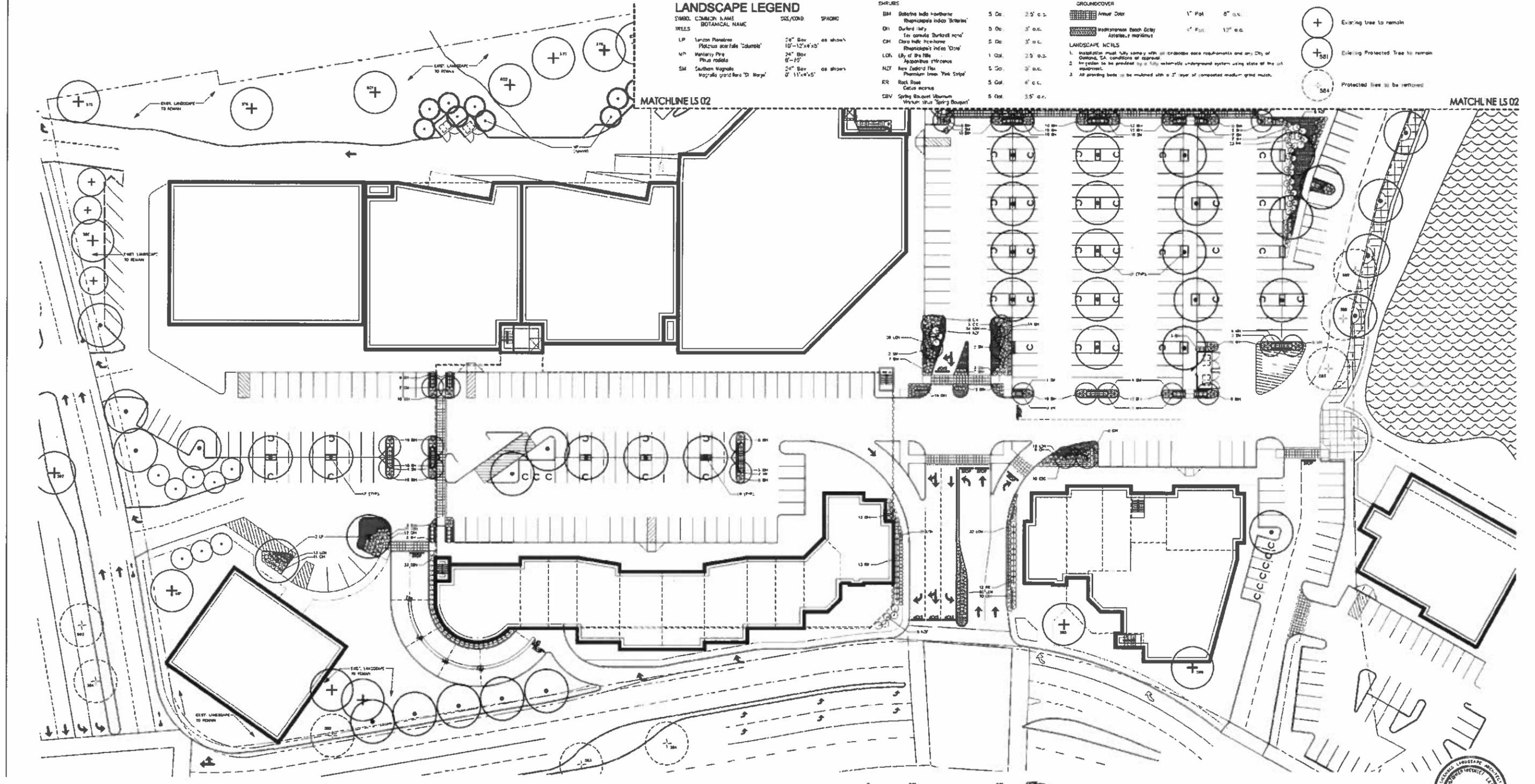
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE/CONT.	SPACING
AC	Annual Clover		1" Pot	8" o.c.
MD	Mediterranean Beach Clay	Artemisia 'Mediterranean Beach Clay'	1" Pot	12" o.c.

- LANDSCAPE NOTES**
- Installation must fully comply with all applicable codes, regulations and any City or County, CA, conditions of approval.
 - See notes to be provided by fully automatic underground system using state of the art equipment.
 - All planting beds to be mulched with a 2" layer of composted medium-grind mulch.



MATCHLINE LS 02

MATCHLINE LS 02



1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"



**CHRISTOPHER FRESHLEY
LANDSCAPE ARCHITECT**
1000 S.W. MEADOWS RD. SUITE 430
LAKE OSWEGO, OR 97035
PHONE (503) 670-0234
FAX (503) 670-0235
bsa@bsaarch.com



Dev. Review : 06/03/09

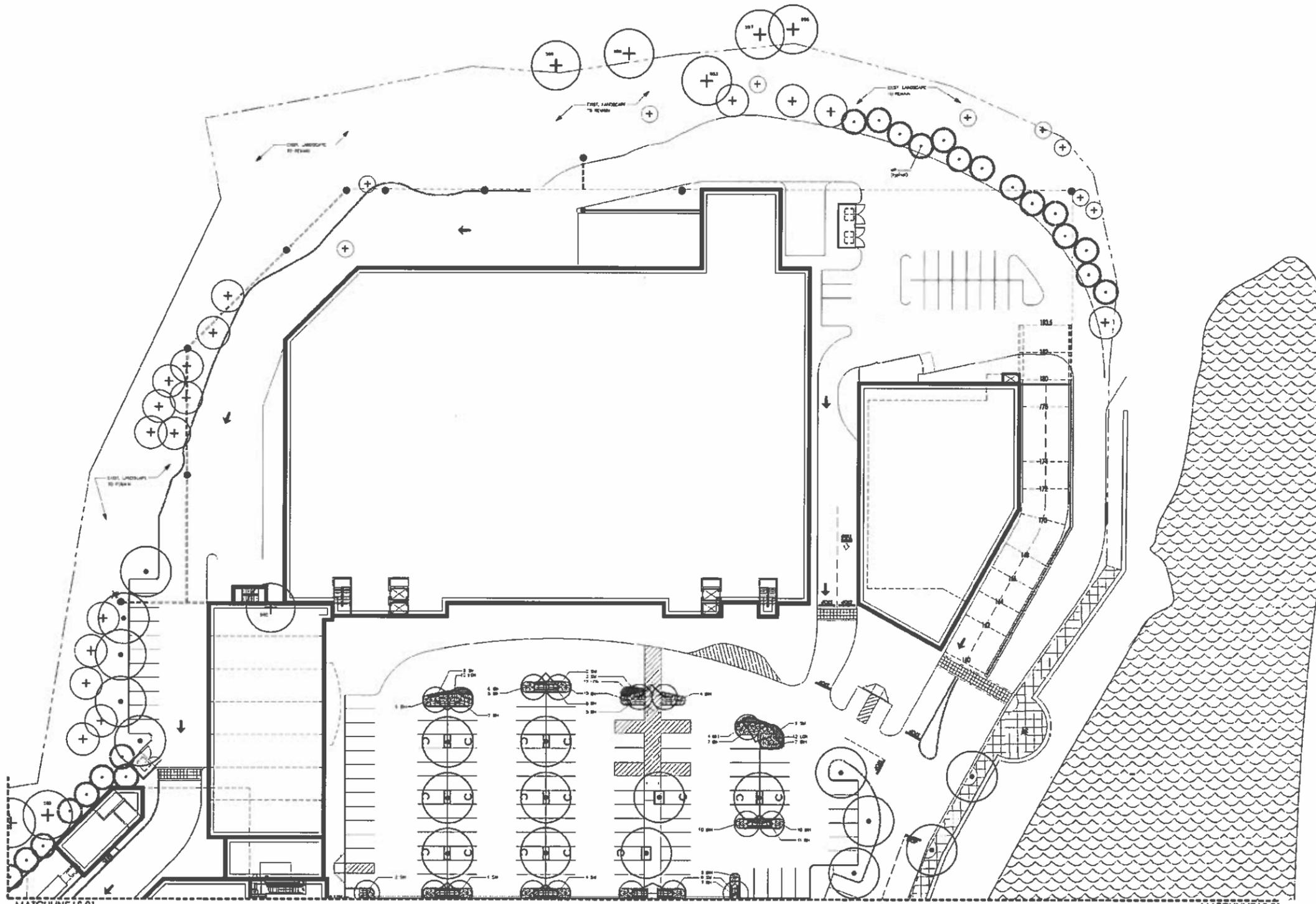
SAFeway
Northern California Division
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Phone: 925 467 2376
Fax: 925 467 2861

51ST & Broadway
Store No. 3132
Oakland, California

**BENNER STANGE
ASSOCIATES
ARCHITECTS, INC.**
5000 S.W. MEADOWS RD.
SUITE 430
LAKE OSWEGO, OR 97035
PHONE (503) 670-0234
FAX (503) 670-0235
bsa@bsaarch.com



**LS
01**



LANDSCAPE LEGEND

SYMBOL	COMMON NAME	SIZE/DOB	SPACING
TREES			
LP	Linda Poinciana <i>Pithecellobium 'Linda'</i>	24" Box	as shown
MP	Monterey Pine <i>Pinus radiata</i>	24" Box	8'-10'
DM	San Juan Maple <i>Aquilegia 'San Juan'</i>	24" Box	as shown
SHRUBS			
BH	Baker's Holly <i>Rhoicodendron 'Baker's'</i>	5 Gal.	2.5' o.c.
BH	Burford Holly <i>Ilex cornuta 'Burford Holly'</i>	5 Gal.	3' o.c.
CH	Carex Holly <i>Rhoicodendron 'Carex'</i>	5 Gal.	3' o.c.
LOH	Ly of the Sea <i>Apocynum chinensis</i>	1 Gal.	2.5' o.c.
HZF	Red Zedera <i>Phormium tenax 'Pink Stripe'</i>	5 Gal.	3' o.c.
RR	Red Fescue <i>Oxalis stricta</i>	5 Gal.	4' c.c.
SBV	Spring Bouquet <i>Muscadine 'Spring Bouquet'</i>	5 Gal.	3.5' o.c.
GROUNDCOVER			
[Symbol]	Anise Cole	4" Pot	8' o.c.
[Symbol]	Mediterranean Beach Juncy <i>Asteriscus maritimus</i>	4" Pot	12' o.c.

- LANDSCAPE NOTES**
- Installation must fully comply with all landscape code regulations and any City of Oakland, CA, conditions of approval.
 - Irrigation to be provided by a fully automatic underground system using state of the art equipment.
 - All planting beds to be mulched with a 2" layer of composite medium grade mulch.



1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"



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LAKE OSWEGO, OR 97034
(503) 670-0234
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**LS
02**