

***City of Oakland***  
***Landmarks Preservation Advisory Board***

**STAFF REPORT**

**Case File Number: PLN16271**

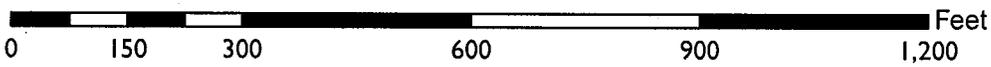
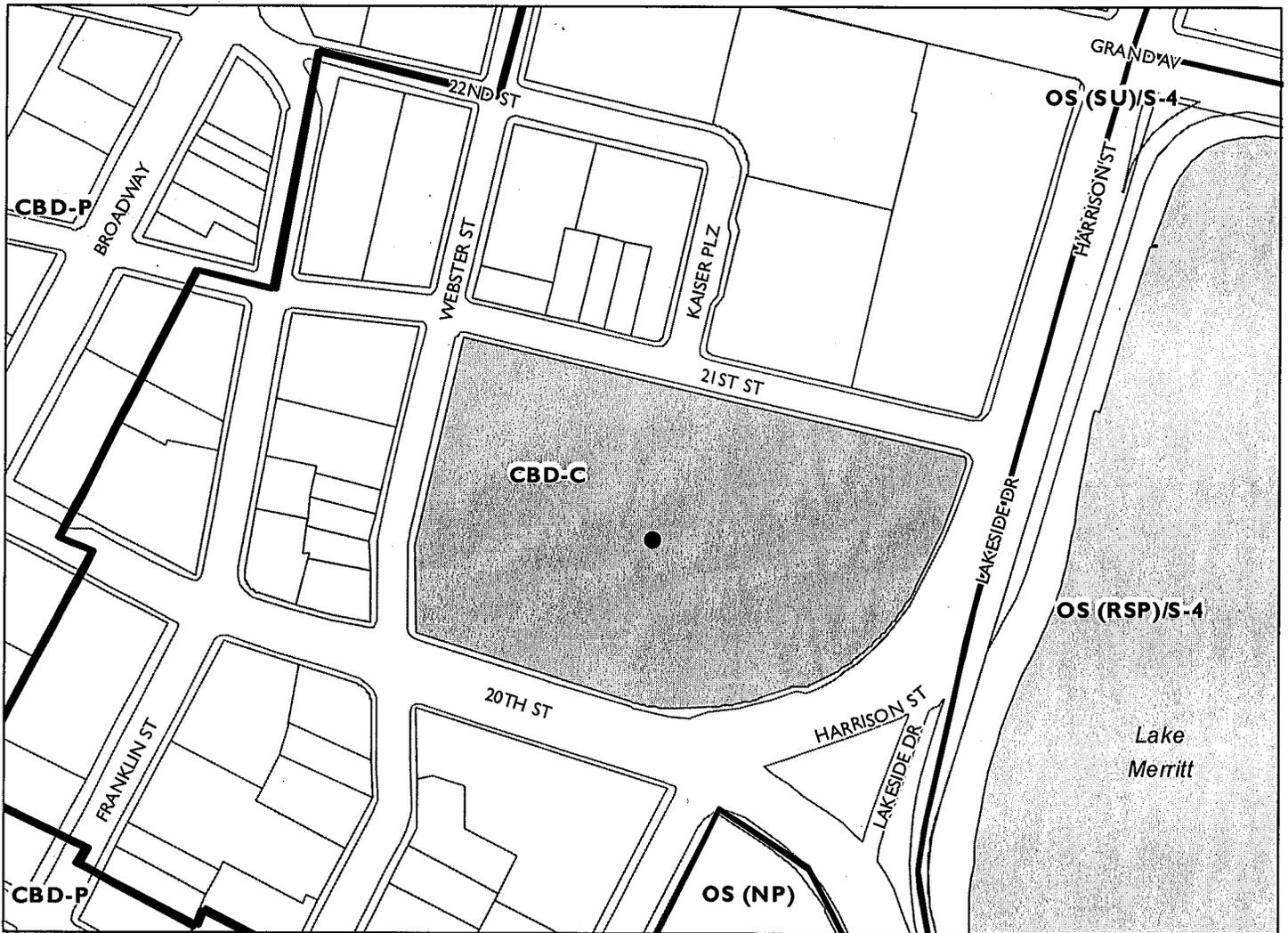
**March 13, 2017**

<b>Location:</b>	<b>300 Lakeside Drive (See map on reverse)</b>
<b>Parcel Number:</b>	<b>008-0652-001-05</b>
<b>Proposal:</b>	<b>Approve a new Master Sign Program for the Kaiser Center</b>
<b>Owner:</b>	<b>The Swig Company</b>
<b>Applicant:</b>	<b>Gensler</b>
<b>Planning Permits Required:</b>	<b>Regular Design Review, Conditional Use Permit</b>
<b>General Plan:</b>	<b>Central Business District (CBD)</b>
<b>Zoning:</b>	<b>Central Business District General Commercial Zone (CBD-C)</b>
<b>Environmental Determination:</b>	<b>Categorically Exempt per CEQA Guidelines Sections 15301, 15331</b>
<b>Historic Status:</b>	<b>Highest Importance (Survey Rating "A"); Contributor to an Area of Primary Importance (Survey Rating "1+")</b>
<b>City Council District:</b>	<b>3</b>
<b>Action to be Taken:</b>	<b>Recommendation to the Director</b>
<b>For Further Information:</b>	<b>Contact case planner <u>Matthew Weintraub</u> at (510) 238-6983 or <u><a href="mailto:mweintraub@oaklandnet.com">mweintraub@oaklandnet.com</a></u></b>

**SUMMARY**

The purpose of this report is to provide information and to request the Board's recommendations on a proposed new Master Sign Program for the Kaiser Center at 300 Lakeside Drive, which is included as Attachment A. Staff's analysis of the proposed Master Sign Program finds that it is consistent with the Planning Code and related regulations, as explained in this report, and pending input by the Board. At this time, staff is requesting the Board's formal recommendations prior to the Director's decision on the proposed Master Sign Program. After receiving the Board's recommendations and incorporating any relevant information, staff will make the decision on the application.

This report includes new information as well as information previously presented in the February 6 report. In the sections below, substantial new information which was not included in the February 6 report is underlined.



Case File: PLN16271  
Applicant: Gensler  
Address: 300 Lakeside Dr  
Zone: CBD-C

**BACKGROUND**

A complete Master Sign Program proposal for the Kaiser Center has not been previously reviewed by the Board. Previously, at the February 6, 2017 meeting, in order to facilitate the applicant's development of complete Master Sign Program proposal, the applicant requested that the Board conduct a preliminary review and provide comments on one aspect of the proposal, which are the eight (8) new signs proposed at the office tower and the porte-cochere,. At the February 6 meeting, Board members provided comments concerning the compatibility of the proposed tower and new porte-cochere signs with the existing architectural character of the Kaiser Center, and the potential effects of sign installation/removal on the existing dolomite material.

In the current submittal, the applicant has responded to the Board's previous comments by proposing three separate options for the proposed porte-cochere signage (see Attachment B) for the Board's consideration. The applicant's preferred option for new porte-cochere signage is included in the proposed Master Sign Program document (Attachment A). The proposed Master Sign Program also addresses new and changed signage throughout the complex, and it includes instructions for maintaining and repairing the existing dolomite material in good condition.

**PROJECT SITE AND SURROUNDING AREA****Project Site**

The subject lot (APN 008-0652-001-05) occupies an entire block bounded by 20<sup>th</sup>, 21<sup>st</sup>, Harrison (Lakeside Drive), and Webster streets. The irregularly shaped lot is rectangular with one corner, at 20<sup>th</sup> and Harrison Streets, clipped and rounded. It is 7.20 acres in area. The surrounding area is developed primarily with medium- to high-density commercial, office and institutional buildings, predominantly constructed in the mid-twentieth century and later. Lake Merritt is located to the east.

**Architectural Description**

The existing development at 300 Lakeside Drive is the Kaiser Center, a commercial/office complex constructed in 1958-59. It occupies the entire lot. The Kaiser Center design includes four distinct, interrelated building components: a 28-story Office Tower which faces east to Harrison Street/Lakeside Drive and Lake Merritt; a pair of two- and three-story Mall Buildings which face south to 20<sup>th</sup> Street and west to Webster Street; a parking garage located to the north along 21<sup>st</sup> Street; and a rooftop park located on top of the Webster Street Mall Building and the parking garage.

The 28-story Office Tower is T-shaped in plan with the stem extending to the interior of the lot, and the wings extending along Harrison Street/Lakeside Drive. The wider, primary façades are composed of horizontal window bands and metal spandrels. The narrower side walls are clad in dolomite panels. The tower is cantilevered over its first story on squared columns. At the Harrison Street/Lakeside Drive elevation, a three-story podium block is cantilevered out from the

base of the tower on square columns to form a porte-cochere. At the back of the tower, two similar cantilevered podium blocks extend from the base.

The adjacent two- and three-story Mall Buildings are long, low and rectangular in plan. They form an L-shape with the legs extending along 20<sup>th</sup> and Webster Streets. The upper stories are clad in dolomite panels and cantilevered out over the ground level, which contains entrances and storefronts. The parking garage fills the ell formed by the interconnected Mall Buildings, behind the Office Tower and fronting 21<sup>st</sup> Street.

The Kaiser Center is exemplary of Modern architectural style. The complex exhibits characteristic features such as: abstract geometric forms; rectilinear and curvilinear shapes; “floating” building masses; expanses of solid and glazed wall surfaces; grid patterns; vertical fins; horizontal canopies; clean corners and rooflines; integrated landscaping; and use of modern exterior materials such as glass, metal, and rocky aggregate.

### **Existing and Historic Tower Signage**

It is the intent to the proposed Master Sign Program to retain, enhance, and improve the existing characteristic signage schema for the Kaiser Center complex. The historic design concept for commercial and tenant signage at the Kaiser Center complex is illustrated in Kaiser Center historic promotional images (undated, circa 1958), which are included as Attachment C. This historic design concept has generally been implemented and maintained, as described below.

According to historic elevation drawings (see Attachment A) and historic promotional imagery (see Attachment C), the Kaiser Center originally included tower signage located prominently on the end wall of the central vertical slab that projects from the back of the tower, and at either ends of the tower wings. The tower signs were comprised of individual channel letters spelling out “KAISER” on the central slab, and “KAISER CENTER” on the wing slabs, each backed by a field of dolomite. While the historic tower signs on the wing slabs are no longer extant, the original “KAISER” sign on the central slab currently appears to be extant, intact and unaltered. The existing historic sign is comprised of individual metal channel letters painted “Kaiser silver”, currently not illuminated. The existing sign is 54’ wide and 6’-6” feet tall, with a sign area of 378 square feet.

In addition, there is other existing signage on the property, including street-level and storefront-level tenant signs, and directional signs. According to historic promotional imagery (see Attachment C), commercial tenant signage was originally envisioned as running horizontally along the bottom edge of the upper dolomite walls of the mall buildings, arranged regularly across the long façades, and typically comprised of dimensional channel letters. The existing street-level tenant signage generally conforms to this historic sign character, although none of the existing tenant signs are believed to be original or historic. Similarly, none of the existing directional wall or monument signs are believed to be original or historic. The original and/or historic designs for directional signage, if any, are not known.

**Historic Property Status**

The existing property has an Oakland Cultural Heritage Survey (OCHS) Rating of "A1+" and it is listed in the City's Local Register. The "A" indicates that the existing property is of the "Highest Importance" and is clearly eligible for listing to the National Register of Historic Places. The existing property is an outstanding example of an important style, which is Modern. The "1+" indicates that the property is a contributor to an Area of Primary Importance (API), which is the Lake Merritt District. According to the City's district survey form, the 122-acre district "is comprised of Lake Merritt shorelines; Lakeside Park and Peralta Park; the buildings, structures, and objects within those parks; the Lake Merritt Wild Duck Refuge; several public buildings; and various multi-story, multi-unit residential apartment buildings... The District is unified by the lake's presence and by its architectural harmony in the civic buildings and the ca. 1906-1939 multi-unit, multi-story residential buildings featuring Revival and Craftsman architecture." In addition, the district is characterized by the subject Kaiser Center, which is a contributing property to the district, and whose construction date coincides with the end of the district's period of significance of 1870-1958.

**PROJECT DESCRIPTION**

There is currently no Master Sign Program for the Kaiser Center. The application proposes to establish a new Master Sign Program for the Kaiser Center. Under the Planning Code, a Master Sign Program specifies the overall design, configuration, and permitted sizes of signs for a building or complex containing two (2) or more tenant spaces, such as the Kaiser Center. Master Sign Programs identify the permitted sign sizes, materials, colors, placement, construction, method of lighting, and other related sign requirements for the applicable commercial, industrial, or mixed use building or complex. Once a Master Sign Program is approved, sign applications determined to conform to the provisions of an approved Master Sign Program may be processed without further design review; whereas, sign applications determined to not conform to an approved Master Sign Program may only be granted upon approval of a revision to the original Master Sign Program.<sup>1</sup> Existing signage legally established prior to the approval of a Master Sign Program, and which does not conform to the provisions of an approved Master Sign Program, is considered legal non-conforming. Legal non-conforming signs may remain in place until and unless new conforming signage is approved as replacement or in relation to the existing non-conforming signage, at which time the non-conforming signage would be required to be brought into conformance with the Master Sign Program, subject to the discretion of City staff.

The proposed new Master Sign Program, inclusive of existing signage to be retained (508 square feet) and proposed new signage (726 square feet), includes a new total aggregate sign area of 1,234 square feet, which exceeds the current maximum permitted allowable aggregate sign area.<sup>2</sup>

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<sup>1</sup> Planning Code Section 17.104.070 (A), (C).

<sup>2</sup> According to Planning Code Section 17.104.020 (B) (1), the maximum aggregate area of display surface of all Business, Civic, and Residential Signs on any one lot shall be one (1) square foot for each one (1) foot of lot frontage in the case of an interior lot, or one-half (0.5) square feet for each one (1) foot of lot frontage in the case of a corner lot (which yields a potential maximum aggregate sign area of 1,115 square feet for the subject corner lot);

Approval to exceed (or to further exceed) the maximum permitted allowable aggregate sign area may be authorized by approval of a Master Sign Program and a Conditional Use Permit.<sup>3</sup> The Conditional Use Permit requirement results in the corollary requirement for Regular Design Review, which is applicable whenever a Conditional Use Permit is required.<sup>4</sup> The application requires Board review because all cases of Regular Design Review involving a Local Register property in the Central Business District (CBD) zone are subject to review by the Board.<sup>5</sup>

In the following sections, signs are organized and referred to as “Tower Signs”, “Porte-Cochere Signs”, and “Tenant Signs”. The intended purpose of “Tower Signs” and “Porte-Cochere Signs” is to broadly announce the presence of corporate tenants within the Kaiser Center, without identifying or indicating specific retail or commercial locations within the Kaiser Center. Conversely, the intended purpose of “Tenant Signs” is to identify and advertise the specific locations of individual retail tenants and storefronts along the street-facing elevations of the Kaiser Center. Another category of signs, “Directional Signs”, refers to monument and wall signs that provide general information about the Kaiser Center and its tenants.

### **Tower Signs**

The proposed Master Sign Program would retain the existing historic “KAISER” tower sign at the central end wall. It would also allow for the installation of a pair of new tower signs (Signs 35 and 36), one at each of the side walls of the tower wings, in the same locations where the historic tower wing signs (no longer extant) were previously installed. The new tower wing signs are specified as 6”-thick dimensional, metal pan channel letters, painted “Kaiser silver” to match the existing historic sign, and with concealed-source halo illumination (backlighting). The signs would be 29’-10” wide and 6’-6” tall, with a sign area of 195 square feet each. New tower signs would utilize Gotham-style font only.

### **Porte-Cochere Signs**

The proposed new Master Sign Program would allow the addition of six (6) new signs to the Harrison Street/Lakeside Drive porte-cochere of the Office Tower (Signs 38-43). Like the historic and the new tower signs, the new porte-cochere signs would be installed on stainless steel stand-offs affixed to the dolomite-clad side walls, which would serve as sign backing.

Three separate options for the proposed new signage at the porte-cochere side walls are provided for review and comment by the Board. These options are described in Attachment B. Option 1 (which is the applicant’s preferred option and which is currently included in the proposed Master Sign Program) proposes to align the three new signs horizontally in a row along the bottom edges of each side wall, with the signs spaced evenly across the façade and with maximum separation between each sign. Option 2 (which is similar to the proposal previously reviewed by the Board on February 6) proposes to align the three new signs vertically along the outer wall

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except that, the total amount of aggregate sign area shall not exceed two hundred (200) square feet on any one property.

<sup>3</sup> Planning Code Section 17.104.070 (B).

<sup>4</sup> Planning Code Section 17.136.040 (A) (2).

<sup>5</sup> Planning Code Section 17.136.055 (C) (1) (e).

edges closest to the street, justified to the outer edges, also with the signs spaced evenly and with maximum separation. Options 3 proposes to locate the three new signs at three corners of each side wall, regularly spaced and with maximum separation, including two signs at the outer corners closest to the street, and one sign at the inner upper corner closest to the tower.

The porte-cochere signs are proposed to be similar to the tower signs in construction and appearance, while smaller in scale. The porte-cochere signs would be 2"-thick dimensional, metal pan channel letters painted "Kaiser silver" and halo-illuminated. Under Option 1, the maximum sign heights would be 2'-0" and maximum area of individual signs would be 36 square feet. Under Options 2 and 3, the maximum sign heights would be 2'-6" and maximum sign area would be 45 square feet per sign. The porte-cochere signs would use Gotham-style font only.

### **Tenant Signs**

The proposed Master Sign Program addresses potential future changes to wall and window tenant signage at the Mall Buildings and Office Tower. At the Mall Buildings, the Master Sign Program proposes to continue the historic pattern of allowing tenant business signs arranged horizontally along the bottom edges of the dolomite-clad wall sections, spaced regularly across the long building façades on 20<sup>th</sup> and Webster Streets. Similar to the tower and porte-cochere signage, future tenant wall signage at the Mall Buildings would be dimensional, metal pan channel letters, individually mounted on steel stand-offs, without backing or mounting panels. Tenant wall signage would be non-illuminated or internally illuminated through colored letter faces, in contrast to the halo illumination which is proposed for the tower and porte-cochere signs.

At the ground level of the Kaiser Center, which is comprised of glass-faced storefront bays located between solid expanses of wall surface, the Master Sign Program would allow tenant signage at the glazed storefront bays, which is the existing predominant pattern. The Master Sign Program would preclude signage on the existing wall surfaces located between storefront bays, which historically did not feature signage. At the glazed storefront bays, tenant signs with business names and/or logos, comprised of vinyl film or painted individual letters without backing, would be allowed within the transom areas, and may exceed the general maximum coverage requirement of 25% of the window surface within the transom area. At glazed surfaces below transoms, tenant signage including information on services and promotions, but not business names or logos, may be located and would be subject to the general maximum coverage requirement of 25% of the glazed surface area below the transom. No sign cabinets or sign illumination would be allowed at storefronts.

Whereas the Mall Buildings feature wide horizontal expanses of dolomite wall directly over the storefronts, which provides a backing field for tenant business signs, storefronts in the Office Tower, along Lakeside Drive, have low canopy features and window bands located directly above, which do not facilitate installation of business signs. Consequently, tenant signage has not historically been installed above the storefront level along Lakeside Drive, as it has in the Mall Buildings, and tenant signage at the tower storefronts has generally been limited to window

signage. Under the Master Sign Program, this pattern would continue in order to avoid affecting existing architectural features and the architectural character of the Office Tower.

Tenant wall and window signage, unlike the tower and porte-cochere signage, would not be restricted to any specific colors or typestyles, in order to allow for expression of individual tenant identities.

### **Directional Signs**

The proposed Master Sign Program would retain the locations, sizes, and general characteristics of the existing directional signs on the property. These existing directional signs include: a parking garage wall sign; a parking garage blade sign; two (2) tenant directory wall signs; and four (4) freestanding monument signs. In addition, the Master Sign Program would allow for the installation of one (1) new freestanding monument sign in an existing private landscaped area on Webster Street, similar to the existing freestanding monument signs located in landscaped areas along Lakeshore Drive. The proposed new monument sign is intended to improve wayfinding to tenant spaces that are accessible via the Webster Street pedestrian entrance, which is deeply recessed and which is minimally visible from the public right-of-way. Freestanding monument signs are proposed to be up-lit from concealed sources.

### **GENERAL PLAN ANALYSIS**

According to Policy 2.4 (b) of the Historic Preservation Element of the General Plan: "Alterations or New Construction involving Landmarks or Preservation Districts will normally be approved if they are found to meet the Secretary of the Interior's Standards for the Treatment of Historic Properties or if certain other findings are made [that the project will not adversely affect the Landmark or Preservation District]." Although the subject project does not involve a designated Landmark or Preservation (S-7) District, it does involve an OCHS-rated property of the "Highest Importance", and which is a contributing property to an API, a historically or visually cohesive area or property group appearing eligible for the National Register of Historic Places, and which may also merit consideration as a Preservation (S-7) District.

Accordingly, staff has analyzed the compatibility of the project with the API according to the Secretary of the Interior's Standards for Rehabilitation, which acknowledge the need to alter or add to a historic property (or district) to meet continuing or changing uses while retaining the property's (or district's) historic character. Staff's preliminary analysis is presented below (with the Rehabilitation Standards shown in *italicized text* and followed by individual responses). Staff's analysis is preliminary in nature and is subject to change pending submittal of the final proposed Master Sign Program, as well as additional information that may be received by the Board and/or the public.

Secretary of the Interior's Standards for Rehabilitation

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Response: The existing property will continue to function as a retail/office complex with commercial signage, which is its historic purpose. The installation of new signage to the exterior of the existing building would require minimal physical changes to the property, and would facilitate continued commercial use.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Response: New dimensional signs would be mounted with stainless steel standoffs and/or metal raceways, engineered to minimize stone penetrations and centered on stone joints where possible. Any dolomite material or panels that are damaged would be patched and/or repaired according to the details included in the Master Sign Program. Implementation of these measures would facilitate retention and preservation of the existing materials, features, and character, while avoiding removal of characteristic materials.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Response: The proposed new signage is referential to and compatible with the subject property's historic signage in location and design, and is therefore not conjectural. The new signage would be an authentic addition to the ongoing physical record of the building's time, place, use, and historical development.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Response: Changes that have occurred over time include the removal of the original tower wing signs, and the installation of numerous newer signs throughout the Kaiser Center, which are not changes that have acquired significance in their own right.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

Response: The proposed installation of new signs on the existing building – which would affect small areas of existing wall cladding in the locations of new sign installation – would retain and preserve the vast majority of the existing dolomite panel cladding intact; and it would not affect the overall distinctiveness of the dolomite material or the

character of the property. New dimensional signs would be mounted with stainless steel standoffs and/or metal raceways, engineered to minimize stone penetrations and centered on stone joints where possible. Any dolomite material or panels that are damaged would be patched and/or repaired according to the details included in the Master Sign Program. Implementation of these measures would facilitate retention and preservation of the existing materials, features, and character, while avoiding removal of characteristic materials.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Response: There are no known deteriorated features that are proposed to be repaired or replaced. The Master Sign Program provides details for conducting patch and/or repair of dolomite material and panels, which may be used in case of future deterioration of existing dolomite features.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Response: The proposed new sign installation would involve minor, isolated physical intrusions to the existing dolomite wall cladding. When completed, the intrusions would be patched and concealed, which would be minor alterations that do not constitute "damage" to any individual panels or to the overall feature. Any dolomite material or panels that are damaged would be patched and/or repaired according to the details included in the Master Sign Program. Implementation of these measures would facilitate retention and preservation of the existing materials, features, and character, while avoiding removal of characteristic materials.

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

Response: Due to the nature of the project, an archeological investigation of the property was determined to be not necessary. The proposed installation of new signs on the existing building would not involve any ground disturbance and would not have the potential to affect any existing archeological resource, if any is present.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Response: The proposed installation of new signs would involve minor alterations to isolated areas of existing wall cladding, which would not be considered destruction. New dimensional signs would be mounted with stainless steel standoffs and/or metal raceways, engineered to minimize stone penetrations and centered on stone joints where possible. Any dolomite material or panels that are damaged would be patched and/or repaired according to the details included in the Master Sign Program. Implementation of these measures would facilitate retention and preservation of the existing materials, features, and character, while avoiding removal of characteristic materials. The new signs would be compatible with the historic sign types, which include individual metal channel letters affixed directly to the exterior dolomite-clad upper wall surfaces, and vinyl and painted letter signage at glazed storefronts. The new signs are proposed to be located where historic signage was previously installed, and in new locations that are compatible with the historic schema. All of the proposed new signs would be visually subordinate to the existing historic tower signage by virtue of being smaller and less prominently located than the existing historic tower sign.

- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Response: If necessary in the future, the proposed new signage could be entirely removed by reversing the installation, and the relatively small areas of work could be repaired and restored to their current conditions and appearances, without affecting the essential form or integrity of the property and its environment.

In summary, the proposed project is found to be consistent with the Secretary of the Interior's Standards for Rehabilitation, and with Policy 2.4 (b) of the Historic Preservation Element of the General Plan.

## **ZONING ANALYSIS**

In the following zoning analysis, the responses to the findings are preliminary in nature and are subject to change pending submittal of the final proposed Master Sign Program, as well as additional information that may be received by the Board and/or the public.

### **Conditional Use Permit Criteria**

According to Planning Code Section 17.104.070 (B), a Master Sign Program application which would deviate from the normally required sign standards (such as the subject application) shall be processed as a Conditional Use Permit. According to Planning Code Section 17.134.050, a Conditional Use Permit shall be granted only if the proposal conforms to all of the following general use permit criteria, as well as to any and all other applicable use permit criteria (with the criteria shown in *italicized text* and followed by individual responses):

- *That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.*

Response: The proposed new signage would be appurtenant and complimentary to the existing retail/office commercial development and to other nearby existing properties in the Central Business District zone. It will be compatible with and comparable to existing commercial signage in the neighborhood.

- *That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.*

Response: The proposed new signage would be thoughtfully located and designed to enhance and match with the existing architectural character of the property and the environment.

- *That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region.*

Response: The proposed new signage would facilitate and support the continued commercial retail and office use of the property.

- *That the proposal conforms to all applicable regular design review criteria set forth in the regular design review procedure at Section 17.136.050.*

Response: The proposed new signage conforms to the Regular Design Review criteria as explained below.

- *That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable guidelines or criteria, district plan or development control map which has been adopted by the Planning Commission or City Council.*

Response: The proposed new signage is appurtenant to the existing commercial use, which is compatible with the underlying General Plan land use designation of Central Business District. The proposed new signage is also compatible with the Historic Preservation Element by virtue of being consistent with the Secretary of the Interior's Standards for Rehabilitation, as described above.

- *For proposals involving a One- or Two-Family Residential Facility: If the conditional use permit concerns a regulation governing maximum height, minimum yards, maximum*

*lot coverage, or maximum floor area ratio, the proposal also conforms with at least one of the following additional criteria:*

- ❖ *The proposal when viewed in its entirety will not adversely impact abutting residences to the side, rear, or directly across the street with respect to solar access, view blockage and privacy to a degree greater than that which would be possible if the residence were built according to the applicable regulation, and, for conditional use permits that allow height increases, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height; or*
- ❖ *At least sixty percent (60%) of the lots in the immediate context are already developed and the proposal would not exceed the corresponding as-built condition on these lots, and, for conditional use permits that allow height increases, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height. The immediate context shall consist of the five (5) closest lots on each side of the project site plus the ten (10) closest lots on the opposite side of the street (see illustration I-4b); however, the Director of City Planning may make an alternative determination of immediate context based on specific site conditions. Such determination shall be in writing and included as part of any decision on any conditional use permit.*

Response: The proposal does not involve a one- or two-family residential facility.

In addition, according to Planning Code Section 17.104.070 (B), a Conditional Use Permit for a Master Sign Program may only be granted upon determination that the proposed sign program conforms to the all of the following additional use permit criteria:

- *That the proposal will be of a quality and character appropriate to the Commercial, Industrial, mixed use building or complex.*

Response: The proposed new signage, which is based on historic signage of the existing property, is compatible with the historic and architectural character of the existing commercial building.

- *That the building facade and other walls will be considered and treated as a whole, and in relationship to adjoining buildings.*

Response: The proposal is in keeping with the historic schema, which included signage integrated with the building architecture and landscaping. The schema involves dimensional signage located on expansive fields of dolomite material at upper façades; letter signage at glazed storefronts; and directional signs in functional locations (walls and landscaped islands) on the site.

- *That all Signs will be harmonious with the architectural design of the building and adjacent buildings, and will not cover or detract from a building's significant architectural features.*

Response: The proposed new signage would be consistent with the Secretary of the Interior's Standards for Rehabilitation, which ensures that it is harmonious and compatible with the building's significant architectural features.

### **Regular Design Review Criteria**

According to Planning Code Section 17.136.050 (A), demolition of the subject building may be granted only if the proposal conforms to the following Regular Design Review criteria for residential facilities:

- *That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures.*

Response: The proposal will enhance and be compatible with the existing character of an architecturally significant building.

- *That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics.*

Response: The proposal will preserve and enhance the existing character, which includes integrated signage consistent with the historic schema of the Modern style complex, which is a defining and desirable characteristic of the existing architectural resource.

- *That the proposed design will be sensitive to the topography and landscape.*

Response: The proposed new signage is sensitive to the existing commercial development, which in turn is sensitive to the existing flat topography and shoreline landscape of the site.

- *That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill.*

Response: The project site is not situated on a hill.

- *That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.*

Response: The proposed design is consistent with the policies of the Historic Preservation Element of the General Plan and the Planning Code, as described in this report.

Also, according to Planning Code Section 17.136.050 (C), additions or alterations (including new construction within historic districts) may be granted for Local Register Properties (including properties located within an API) that are not Landmarks or located in the S-7 or S-20 Zone only if the proposal conforms to the following criterion:

- *The proposal will not substantially impair the visual, architectural, or historic value of the affected site or facility. Consideration shall be given to design, form, scale, materials, texture, lighting, landscaping, signs, and any other relevant design element or effect, and, where applicable, the relation of the above to the original design of the affected facility.*

Response: The proposed new signage would be consistent with the Secretary of the Interior's Standards for Rehabilitation, which ensures that it is harmonious and compatible with the building's significant architectural features and its overall architectural character.

### **Special Design Review Criteria in Relation to CBD Zone**

According to Planning Code Section 17.136.055 (B) (2), approval of applications located within the Central Business District (CBD) Zone and in an API, and which require Regular Design Review approval, may be granted only upon determination that the proposal conforms to the following additional criteria:

- *Any proposed new construction is compatible with the existing API in terms of massing, siting, rhythm, composition, patterns of openings, quality of material, and intensity of detailing.*

Response: The proposed new signage is compatible with the specific characteristics and overall character of the existing property, which is a contributor to the API; therefore, the proposed new signage is compatible with the API.

- *New street frontage has forms that reflect the widths and rhythm of the facades on the street, and entrances that reflect the patterns on the street.*

Response: The proposed new signage is scaled to accentuate the existing building forms and façades, as well as to be comparable in sizes and locations to existing historic signage. Tower and porte-cochere signage is oriented for visibility to automobile traffic, which is the predominant mode of travel along Harrison Street/Lakeshore Drive, as well as for visibility from distant locations; while mall signage is oriented for visibility to pedestrian traffic along 20<sup>th</sup> and Webster Streets.

- *The proposal provides high visual interest that either reflects the level and quality of visual interest of the API contributors or otherwise enhances the visual interest of the API.*

Response: The proposed new signage matches and reflects the visual and material quality of the existing architectural resource, which is a contributing property to the API, and its existing historic signage.

- *The proposal is consistent with the visual cohesiveness of the API. For the purpose of this finding, visual cohesiveness is the architectural character, the sum of all visual aspects, features, and materials that defines the API. A new structure contributes to the visual cohesiveness of a district if it relates to the design characteristics of a historic district while also conveying its own time. New construction may do so by drawing upon some basic building features, such as the way in which a building is located on its site, the manner in which it relates to the street, its basic mass, form, direction or orientation (horizontal vs. vertical), recesses and projections, quality of materials, patterns of openings and level of detailing. When some combination of these design variables are arranged in a new building to relate to those seen traditionally in the area, but integral to the design and character of the proposed new construction, visual cohesiveness results.*

Response: The proposed new signage is visually cohesive to the existing property and its architectural character, by virtue of matching the characteristics of historic signage.

- *Where height is a character-defining element of the API there are height transitions to any neighboring contributing historic buildings. APIs with a character-defining height and their character-defining height level are designated on the zoning maps.*

Response: According to the Zoning Code Bulletin effective April 16, 2010, height is not a character-defining element of the Lake Merritt District API.

- *For additions (including new construction in historic districts), the proposal meets either: 1) Secretary of Interior's standards for the treatment of historic resources; 2) the proposal will not adversely affect the character of the property or API; or, 3) upon the granting of a conditional use permit, and a hearing in front of the Landmarks Preservation Advisory Board for its recommendations, a project meets the additional findings below.*

Response: The proposed new signage meets the Secretary of the Interior's Standards for Rehabilitation, which are design standards recommended by the National Park Service in order to preserve and protect the significance and integrity of existing historic resources that are eligible for listing to the National Register of Historic Places.

- For construction of new principal buildings:
  - ❖ *The project will not cause the API to lose its status as an API.*
  - ❖ *The proposal will result in a building or addition with exterior visual quality, craftsmanship, detailing, and high quality and durable materials that is at least equal to that of the API contributors.*

- ❖ *The proposal contains elements that relate to the character-defining height of the API, if any, through the use of a combination of upper story setbacks, window patterns, change of materials, prominent cornice lines, or other techniques. APIs with a character-defining height and their character-defining height level are designated on the zoning maps.*

Response: The proposal does not include construction of a new principal building.

## **ENVIRONMENTAL ANALYSIS**

In the following environmental analysis, the proposed determination is preliminary in nature and is subject to change pending submittal of the final proposed Master Sign Program, as well as additional information that may be received by the Board and/or the public.

The project involves a historical resource as defined by the California Environmental Quality Act (CEQA).<sup>6</sup> The CEQA Guidelines categorically exempt specific types of projects from environmental review. Section 15311, or “Class 11” (Accessory Structures), exempts the construction or placement of on-premise signs accessory to (appurtenant to) existing commercial facilities. Section 15331, or “Class 31” (Historical Resource Restoration/Rehabilitation), exempts projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer. Therefore, current analysis indicates that the project is exempt from further environmental review.

## **KEY ISSUES**

The key issue that the Board is requested to comment on is the compatibility of the proposed new Master Sign Program with the existing architectural character and character-defining features of the resource, including its existing historic signage, as well as the surrounding Lake Merritt District API. The Board may comment on the proposed new sign types, materials, locations, lighting, installation, and any other physical aspect of the proposed new Master Sign Program that may affect or potentially impact the architectural character of the existing property. The Board's input will assist with and facilitate the development of the final proposed Master Sign Program, which is subject to approval by City staff.

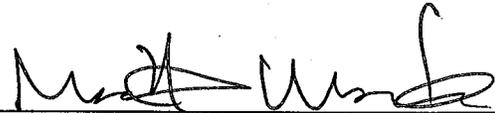
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<sup>6</sup> CEQA Guidelines Section 15064.5.

**RECOMMENDATIONS:**

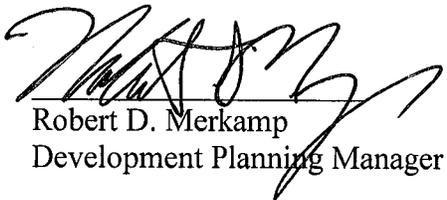
1. Recommend affirmation of staff's environmental analysis.
2. Recommend approval of the proposed new Master Sign Program based on the findings included in this report and subject to the Standard Conditions of Approval, and subject to any additional project-specific conditions which may be recommended by the Board and which are required in order to promote compatibility with the existing historic and architectural character of the property and its environment.

Prepared by:



Matthew Weintraub  
Planner III – Historic Preservation

Reviewed by:



Robert D. Merkamp  
Development Planning Manager

**ATTACHMENTS:**

- A. Project Plans (Proposed Master Sign Program)
- B. Proposed Options for New Porte-Cochere Signage
- C. Historic Promotional Images

Master Sign Program

**Kaiser Center  
300 Lakeside Dr  
Oakland, CA**

March 13, 2017

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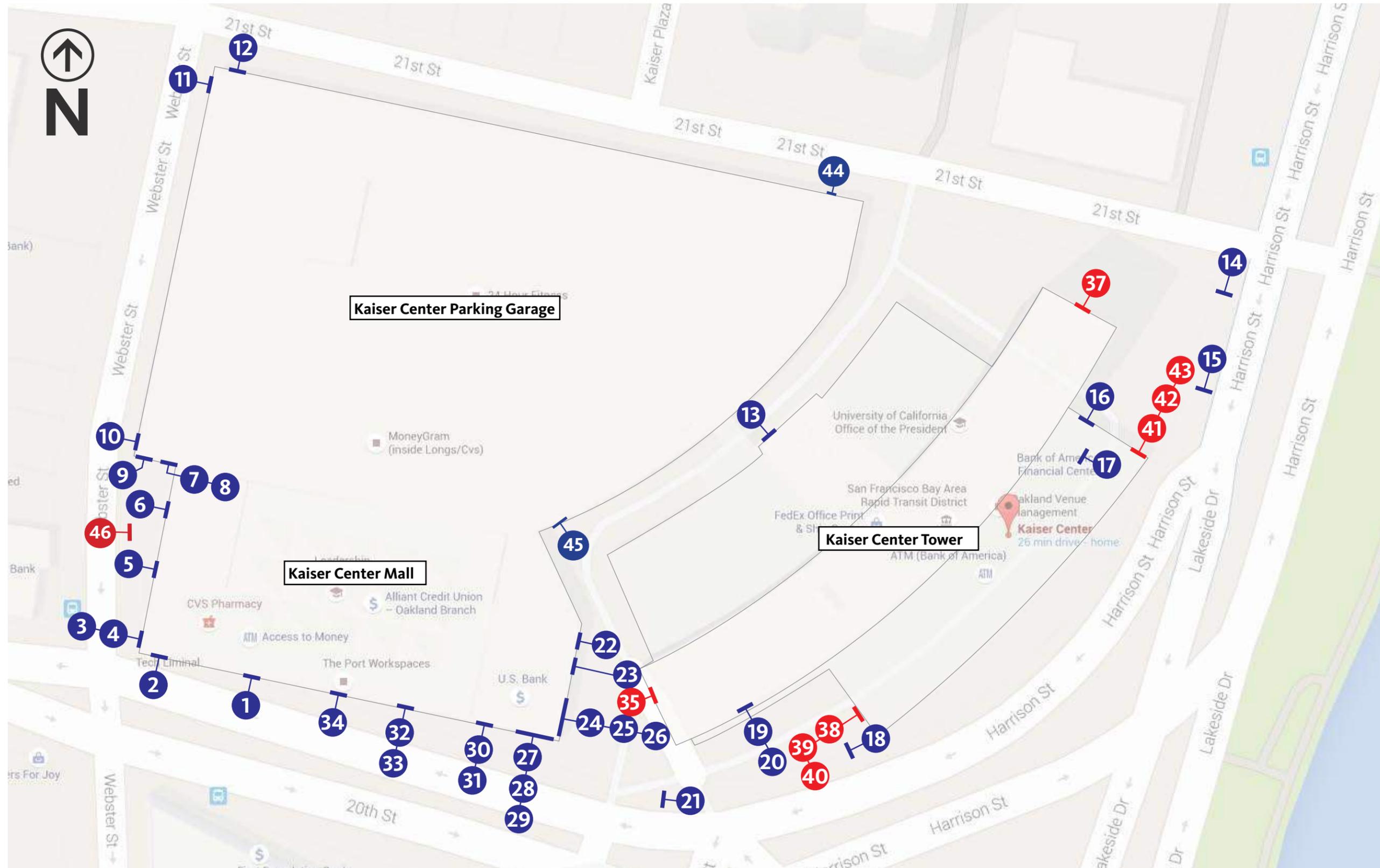
## 1.0 Introduction

Kaiser Center is a significant commercial and office development complex located in Downtown Oakland, consisting of a 28 story Class A office tower, two and three-story retail building and parking structure with rooftop public garden. The Kaiser Center Master Sign Program has been established to provide a functional, integrated and aesthetically appropriate exterior sign program for the Kaiser Center buildings and site. The Master Sign Program describes site and tenant identification, pedestrian and vehicular wayfinding and storefront graphics requirements and criteria. Adherence to the signage guidelines and criteria provided in this document will ensure effective and consistent signage applications, enhancing Kaiser Center users' experience and the Lake Merritt neighborhood.



## 2.0 General Criteria, Guidelines, & Design Intent

### 2.1 Site Plan



Site Plan Key:  
Sign location numbers on this site plan correspond to the Kaiser Center sign matrix found on the following pages.

This plan illustrates existing conditions as of MSP adoption date, with signs in blue representing existing sign locations, and signs in red representing proposed future sign locations.

- KEY**
- 1 Existing Sign
  - 1 Proposed New Sign Locations

Scale: NTS

## 2.0 General Criteria, Guidelines, & Design Intent

### 2.2 Signage Matrix

Location Number	Business	Material	Approximate Size	Location	Existing vs. New
1	CVS Pharmacy	Window vinyl	6 sq. ft. (6"W x 1'H)	20th Street	Existing
2	CVS Pharmacy	Wall-mounted internally-illuminated channel letters	63 sq. ft. (21'W x 3'H)	20th Street at Webster Street	Existing
3	CVS Pharmacy	Wall-mounted internally-illuminated channel letters	63 sq. ft. (21'W x 3'H)	Webster Street at 20th Street	Existing
4	CVS Pharmacy	Window vinyl	10.5 sq. ft. (3'-6"W x 3'H)	Webster Street at 20th Street	Existing
5	CVS Pharmacy	Wall-mounted painted metal sign panel	3 sq. ft. (2'W x 1'-6"H)	Webster Street	Existing
6	Kaiser Center	Wall-mounted building directory	18 sq. ft. (4'W x 4'-6"H)	Webster Street	Existing
7	Liftech	Wall vinyl	4 sq. ft. (2'-6"W x 1'-6"H)	Webster Street Building Entry	Existing
8	The Port Workspaces	Wall vinyl	36 sq. ft. (12'W x 3'H)	Webster Street Building Entry	Existing
9	24-Hour Fitness	Wall-mounted internally-illuminated channel letters with backer panel	36 sq. ft. (12'W x 3'H)	Webster Street	Existing
10	24-Hour Fitness	Wall-mounted internally-illuminated channel letters with backer panel	36 sq. ft. (12'W x 3'H)	Webster Street	Existing
11	24-Hour Fitness	Wall-mounted internally-illuminated channel letters with backer panel	36 sq. ft. (12'W x 3'H)	Webster Street	Existing
12	24-Hour Fitness	Wall-mounted internally-illuminated channel letters with backer panel	36 sq. ft. (12'W x 3'H)	Webster Street	Existing
13	Kaiser Center	Wall-mounted metal channel letters with silver returns, faces painted teal	378 sq. ft. (54'W x 6'-6"H)	Northwest façade of tower	Existing
14	Kaiser Center	Freestanding building address monument sign	24 sq. ft. (12'W x 2'H)	21st Street at Harrison Street	Existing
15	Kaiser Center	Freestanding tenant directory monument sign	36 sq. ft. (4'-6"W x 8'H)	Harrison Street	Existing
16	Bank of America	Wall-mounted dimensional logo	16.5 sq. ft. (11'W x 1'-6"H)	21st Street Driveway	Existing
17	Bank of America	Wall-mounted dimensional logo	16.5 sq. ft. (11'W x 1'-6"H)	Harrison Street Driveway	Existing
18	Kaiser Center	Freestanding tenant directory monument sign	36 sq. ft. (4'-6"W x 8'H)	Harrison Street Driveway	Existing
19	FedEx Office	Internally-illuminated cabinet sign	10 sq. ft. (5'W x 2'H)	20th Street	Existing
20	FedEx Office	Window vinyl	14 sq. ft. (3'-6"W x 4'H)	20th Street	Existing
21	Kaiser Center	Freestanding tenant directory monument sign	89 sq. ft. (8'-6"W x 10'-6"H)	20th Street at Garage Driveway	Existing
22	Kaiser Center	Wall-mounted building directory	18 sq. ft. (4'W x 4'-6"H)	Building Entry at Garage Driveway	Existing
23	The Port Workspaces	Window vinyl	12 sq. ft. (12'W x 1'H)	Building Entry at Garage Driveway	Existing
24	US Bank	Window vinyl	3 sq. ft. (3'W x 1'H)	Garage Driveway at 20th Street	Existing
25	US Bank	Window vinyl	3 sq. ft. (3'W x 1'H)	Garage Driveway at 20th Street	Existing
26	US Bank	Wall-mounted internally-illuminated channel letters	14 sq. ft. (7'W x 2'H)	Garage Driveway at 20th Street	Existing
27	US Bank	Wall-mounted internally-illuminated channel letters	14 sq. ft. (7'W x 2'H)	20th Street at Garage Driveway	Existing

## 2.0 General Criteria, Guidelines, & Design Intent

### 2.2 Signage Matrix (cont.)

Location Number	Business	Material	Approximate Size	Location	Existing vs. New
28	US Bank	Window vinyl	3 sq. ft. (3'W x 1'H)	20th Street at Garage Driveway	Existing
29	US Bank	Window vinyl	3 sq. ft. (3'W x 1'H)	20th Street	Existing
30	US Bank	Window vinyl	3 sq. ft. (3'W x 1'H)	20th Street	Existing
31	US Bank	ATM topper	4.5 sq. ft. (3'W x 1'-6"H)	20th Street	Existing
32	Alliant Credit Union	Wall-mounted halo-lit dimensional letters	36 sq. ft. (12'W x 3'H)	20th Street	Existing
33	Alliant Credit Union	Window vinyl	3 sq. ft. (6'W x 6"H)	20th Street	Existing
34	The Port Workspaces	Window vinyl	32 sq. ft. (4'-6"W x 3'-6"H)	20th Street Building Entry	Existing
35	Future Tenant 1	Sign Type A.2 - 6" thick dimensional wall-mounted silver metal channel letters, halo-lit	Maximum Height: 6'-6"H Square footage not to exceed 195 sq. ft.	West façade of tower	New
37	Future Tenant 2	Sign Type A.2 - 6" thick dimensional wall-mounted silver metal channel letters, halo-lit	Maximum Height: 6'-6"H Square footage not to exceed 195 sq. ft.	North façade of tower	New
38	Future Tenant 1	Sign Type B.1 - 2" thick dimensional wall-mounted silver metal channel letters, halo-lit	Maximum Height: 2'-0"H Square footage not to exceed 56 sq. ft.	Southwest façade of porte-cochère	New
39	Future Tenant 2	Sign Type B.1 - 2" thick dimensional wall-mounted silver metal channel letters, halo-lit	Maximum Height: 2'-0"H Square footage not to exceed 56 sq. ft.	Southwest façade of porte-cochère	New
40	Future Tenant 3	Sign Type B.1 - 2" thick dimensional wall-mounted silver metal channel letters, halo-lit	Maximum Height: 2'-0"H Square footage not to exceed 56 sq. ft.	Southwest façade of porte-cochère	New
41	Future Tenant 1	Sign Type B.1 - 2" thick dimensional wall-mounted silver metal channel letters, halo-lit	Maximum Height: 2'-0"H Square footage not to exceed 56 sq. ft.	North façade of porte-cochère	New
42	Future Tenant 2	Sign Type B.1 - 2" thick dimensional wall-mounted silver metal channel letters, halo-lit	Maximum Height: 2'-0"H Square footage not to exceed 56 sq. ft.	North façade of porte-cochère	New
43	Future Tenant 3	Sign Type B.1 - 2" thick dimensional wall-mounted silver metal channel letters, halo-lit	Maximum Height: 2'-0"H Square footage not to exceed 56 sq. ft.	North façade of porte-cochère	New
44	Kaiser Center	Internally-illuminated cabinet blade sign	24 sq. ft. (2'-0"W x 12'-0"H)	21st Street Garage Entry	Existing
45	Kaiser Center	Dimensional letters, rail-mounted	1'-6"H Letters	Driveway Garage Entry	Existing
46	Kaiser Center	Sign Type D.2 - Freestanding Tenant Directory Monument Sign	17 sq. ft. (3'-0"W x 5'-6"H)	Webster Street Planter	New

## 2.0 General Criteria, Guidelines, & Design Intent

### 2.3 Design Intent

The Kaiser Center Master Sign Program guidelines are intended as a general guide to exterior sign design and placement, with the goal of complementing the architectural character and finishes of the existing buildings. These guidelines establish the types, dimensions and placement of sign elements, creating a holistic approach to all Kaiser Center signage. In instances where criteria for a sign is not found in this Master Sign Program, the prevailing criteria will follow the City of Oakland sign code.

### 2.4 General Requirements

A. Each sign shall be designed and constructed to be consistent with the City of Oakland sign code and this criteria.

B. All signs shall be provided at the Tenant's sole expense, including the sign design, construction, installation and any required sign permits. Sign permits, where required, shall be obtained by the Tenant, or Tenant's representative, at the Tenant's sole expense prior to sign installation. All signs shall be designed, engineered and fabricated by professional design consultants.

C. All signs will be reviewed for conformance with the criteria found in these guidelines, and approval of sign submittals is contingent on aesthetics of the design and completeness of the submission, and remains the sole discretionary right of the City of Oakland.

D. Upon termination of the Tenant's lease, the Tenant shall leave the façade wall, glazing or mounting surface in good condition, without limitation, and the Tenant shall be specifically required to remove all installed signage, fill all mounting holes and terminate all electrical wiring per prevailing code within ten (10) days. At the Landlord's discretion, the Tenant is required to restore to a consistent look and color to match the surrounding façade or wall surface, and the Tenant is required to replace at their expense any storefront glazing surfaces that cannot be fully restored.

E. Special note to signs mounted to "Dolomite" stone wall surfaces:

Where possible, Tenant shall avoid mounting signs to Dolomite stone panel cladding. Where necessary to mount signs to stone paneled walls, sign mounting shall be engineered to minimize damage or penetrations into stone, and penetrations shall be centered on stone joints where possible. When removing an existing sign from Dolomite stone panel cladding, care must be taken to repair any penetrations or damage to stone surface, referencing the specifications as provided in Addendum Section 6.0 of this document.

### 2.5 General Criteria

A. The Tenant shall be responsible for the fulfillment of any/all required governmental requirements and specifications.

B. All signs shall meet or exceed all current applicable codes (electrical, structural, etc.) and all requirements of the State of California and City of Oakland.

C. Sign content shall be limited to Tenant and building identification, information and direction only.

D. Sign electrical and lighting shall meet or exceed Underwriters Laboratories (U.L.), and be fabricated and installed by U.L.-licensed sign contractors.

E. All identification labels on signs, including U.L. labels, shall be concealed from view where possible, except where required by code.

F. The Tenant may use their own typestyle and brand colors on signage, except where required to use Project Typestyle or Project Colors as noted in these guidelines.

G. Signs shall be fabricated without apparent face distortion or "oil canning" and all exposed welds, joints and seams shall be ground flush. Painted sign surfaces shall be uniform, without thin spots, "orange peel" or imperfections. Signs shall be installed true and plumb.

H. All exterior signs shall be secured with corrosion resistant stainless steel or cadmium plated fasteners, concealed from view or painted to match sign finish.

I. Any/all sign mounting wall penetrations shall be cleanly sealed and waterproofed by Tenant's sign contractor.

J. Sign contractor shall repair any damage to building walls, glazing or landscaping caused by their work. Damage not repaired by the sign contractor shall become the responsibility of the Tenant to correct.

K. Tenant shall be responsible for the operation of their sign contractor, and shall indemnify, defend the Landlord, Landlord's representative, the City of Oakland and all parties harmless from damages or liabilities on account thereof.

## 2.0 General Criteria, Guidelines, & Design Intent

### 2.6 Sign Illumination

- A. Sign illumination type (halo illuminated or internal face illumination) shall be as noted in individual sign types exhibits criteria. Halo and internally-illuminated letters and logos shall be painted aluminum or stainless steel pan-channel letters. Internally-illuminated letters shall have integral trim caps finished to match the letterform color, halo letters shall have clear Lexan backs.
- B. No exposed LED, neon or other lighting sources shall be directly visible. No animated or flashing lighting or displays are allowed. Face illuminated cabinet signs are not allowed.
- C. Illumination shall be uniform without apparent hot spots or shadowing, and shall use daylight color (between 6000K–7000K) energy efficient lamps or LED fixtures, white in color only.
- D. All electrical transformers, junction boxes, conduit, wiring and access doors shall be concealed from view. Electrical transformers shall be readily-accessible for maintenance.
- E. All illuminated Tenant signs shall be connected to a concealed junction box, with the final electrical connections by the Tenant's sign contractor. All Tenants shall connect their illuminated signs to their own electrical panel.
- F. The amount of sign illumination hours per day shall be **(LIST HOURS HERE)**.

### 2.7 Approvals and Sign Permitting

- A. Each Tenant or lessee will be provided with a copy of these Tenant sign guidelines and criteria as their first step in developing their proposed signs for Kaiser Center. Compliance with these guidelines will be strictly enforced, and any non-conforming or unapproved signs installed by the Tenant must be brought into compliance at the Tenant's own expense.
- B. The intent of these guidelines is to provide standards necessary to achieve a visually-coordinated, balanced and aesthetically-appropriate environment. To achieve these objectives, the City of Oakland's approval of Tenant's proposed sign designs will be considered based on designs that are 1) creative and original designs, 2) integrated with, and appropriate to, the building architecture and finishes, and 3) manufactured using high quality workmanship and materials.
- C. These criteria shall not imply any governmental approval will be automatically granted. The Tenant is solely responsible for obtaining any/all required approvals from governmental agencies and shall obtain permits from the City of Oakland Planning and Building Departments.

### 2.8 Administration

- A. In the event that any conflict or interpretation of these guidelines cannot be satisfactorily resolved, the City of Oakland's decision shall be binding on the Tenant.
- B. At the expiration, or early termination, of the Tenant's lease term, the Tenant shall be required to remove their signs, cap off any electrical connection, and return the mounting surface to the prior unblemished condition at Tenant's expense within ten (10) days.
- C. No substitutions for sign design or specification will be allowed, either by the Tenant or the Tenant's sign contractor, unless so indicated and approved by the City of Oakland and Tenant. Any deviation from these guidelines may result in rejection of the sign by the City of Oakland.
- D. The Tenant's sign contractor shall carry Workman's Compensation and Public Liability insurance against any/all damage or injury suffered or performed against any/all persons or property while engaged in the construction or installation of signs in the amount of \$1,000,000 per occurrence.
- E. City of Oakland reserves the right to inspect the installation of all signs, and reserves the right to require that any discrepancies and/or code violations will be corrected at the Tenant's expense.
- F. Tenant shall maintain their signs in a clean and professional manner. In the event of any damage, graffiti, lighting failures, or other breakage, Tenant shall repair any such issue within 10 consecutive days from the event or failure. If repairs are not made within the ten-day period, Landlord may affect repairs and hold the Tenant responsible for any cost incurred.

### 2.9 Temporary & Promotional Signs

- A. Temporary wall signs, leasing signs, banners, posters and other temporary or promotional graphics or signs are allowed if mounted behind the glass line within the tenant's lease area, provided they are consistent with provisions of the City of Oakland Sign Ordinance. There is a strong preference for business advertisements or other informational signage to be placed in an orderly and organized manner.
- B. Temporary construction "hoarding" signage or graphics applied to storefronts or construction walls or barricades are not allowed.

## 2.0 General Criteria, Guidelines, & Design Intent

### 2.10 Prohibited Signage

- A. Prohibited signs include hand-lettered signs, audible signs, roof signs or any signs prohibited by the City of Oakland sign ordinance.
- B. No sign may be installed within a require easement, unless an encroachment permit has been authorized and granted by the affected utilities.
- C. Signs must not block access to fire hydrants, fire department connections, or fire department access roads.
- D. It is unlawful for any Tenant to display, exhibit or post anything of an obscene, indecent or unlawful nature or activity.
- E. No sign may be installed to prevent or obstruct entry or exit out of any door. No sign shall create a safety hazard by obstructing view of pedestrian or vehicular traffic.
- F. No sign may display or exhibit any digital, dynamic or animated content, unless approved by City of Oakland.

### 3.0 Graphic Standards

#### 3.1 Project Typestyle

The project typestyle is Gotham, and may be used in one of the font weights at right. Project typestyle is required to be used in signage only where specifically noted in these guidelines.

**Aa Bb Cc Dd Ee Ff Gg Hh Ii Jj Kk Ll Mm Nn  
Oo Pp Qq Rr Ss Tt Uu Vv Ww Xx Yy Zz  
1234567890**

Gotham Medium

**Aa Bb Cc Dd Ee Ff Gg Hh Ii Jj Kk Ll Mm Nn  
Oo Pp Qq Rr Ss Tt Uu Vv Ww Xx Yy Zz  
1234567890**

Gotham Bold

PROJECT STANDARD TYPESTYLE

#### 3.2 Tenant Sign Content, Materials and Colors

A. All tenant signage shall consist solely of the Tenant's trade name, logo and recognizable trade mark insignia. All sign designs and materials shall be deemed appropriate or consistent with building architecture or finishes.

B. Where specifically noted in these guidelines, some Tenant sign types are required to match a building standard finish or material.

C. All Tenant sign colors and materials shall be approved by the City of Oakland prior to sign fabrication, and the City reserves the right to disallow colors that are deemed inconsistent with the building architecture or finishes.

#### 3.3 Project Standard Colors

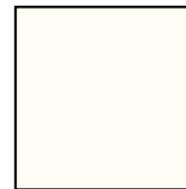
Where specifically noted in sign type exhibits, Kaiser Center signage shall use project standard colors. These include Silver, Metallic Gray, and Dolomite Warm White for painted metal surfaces, and Kaiser white adhesive vinyl for window graphics.



Kaiser Silver



Kaiser Metallic Gray



Dolomite Warm White



Kaiser White



Kaiser Teal

#### PROJECT STANDARD COLORS

*(Colors simulated only- refer to manufacturer color specifications at left)*

Kaiser Silver

Matthews #MP18102 Legacy Silver Metallic

Kaiser Metallic Gray

Matthews #MP18202 Quartz Grey Metallic

Dolomite Warm-White

Matthews #MP432651 Toque White

Kaiser White

3M Scotchcal Vinyl #7725-10

Kaiser Teal

Matthews #MP27145 Aubertite Blue Metallic

## 4.0 Sign Types Exhibits

### A. Tower Signage

#### A.1 Kaiser Tower Signs

Context and Special Considerations:

The distinctive, existing "Kaiser" tower skyline letters are a signature element of the Kaiser Center master sign program, and are to be preserved in place. Should refurbishment or replacement of letters be required, replacement sign shall match existing as closely as possible.

Size and Square Footage Allowance:

6'-6" tall letters occupy 378 sq feet total.

Materials and Color:

14" thick dimensional, metal pan channel letters, faces painted Kaiser Teal, returns painted Kaiser Silver. Non-illuminated.

Placement and Mounting:

Letters are mounted to stone building wall surface with stainless steel standoffs at the 27th floor of the tower.

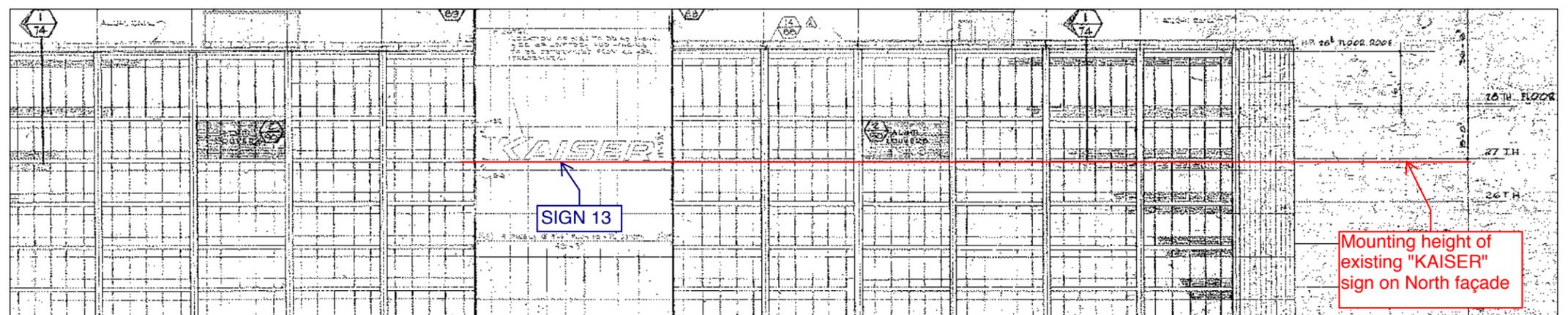


EXISTING KAISER TOWER LETTERING



TOWER NORTH ELEVATION

Key Plan, NTS



ENLARGED TOWER NORTH ELEVATION

Scale: NTS

## 4.0 Sign Type Exhibits

### A.2 Tenant Tower Signs

Context and Special Considerations:

*Tenant tower skyline letters require special consideration in placement, design and illumination given their proximity to the distinctive, existing "Kaiser" skyline lettering.*

Size and Square Footage Allowance:

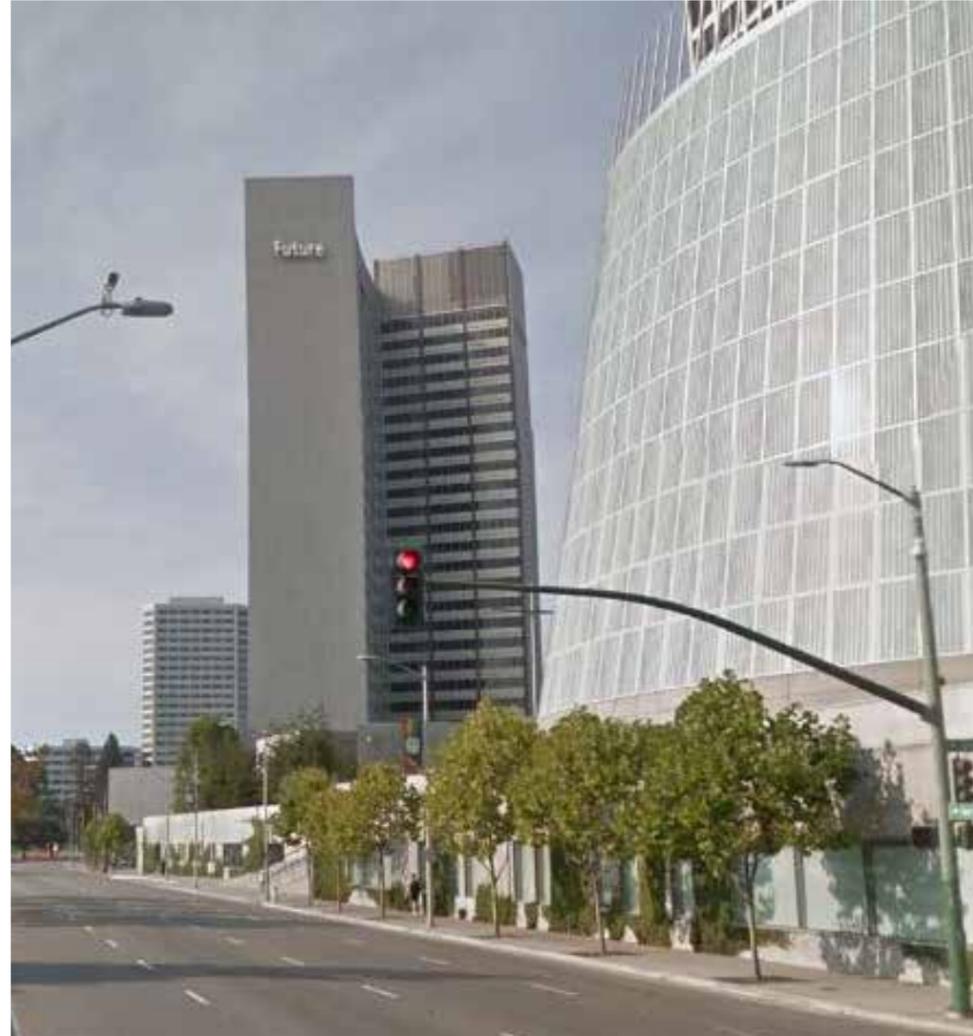
*Up to 6'-6" tall maximum, not to exceed 195 sq. ft. total.*

Materials and Color:

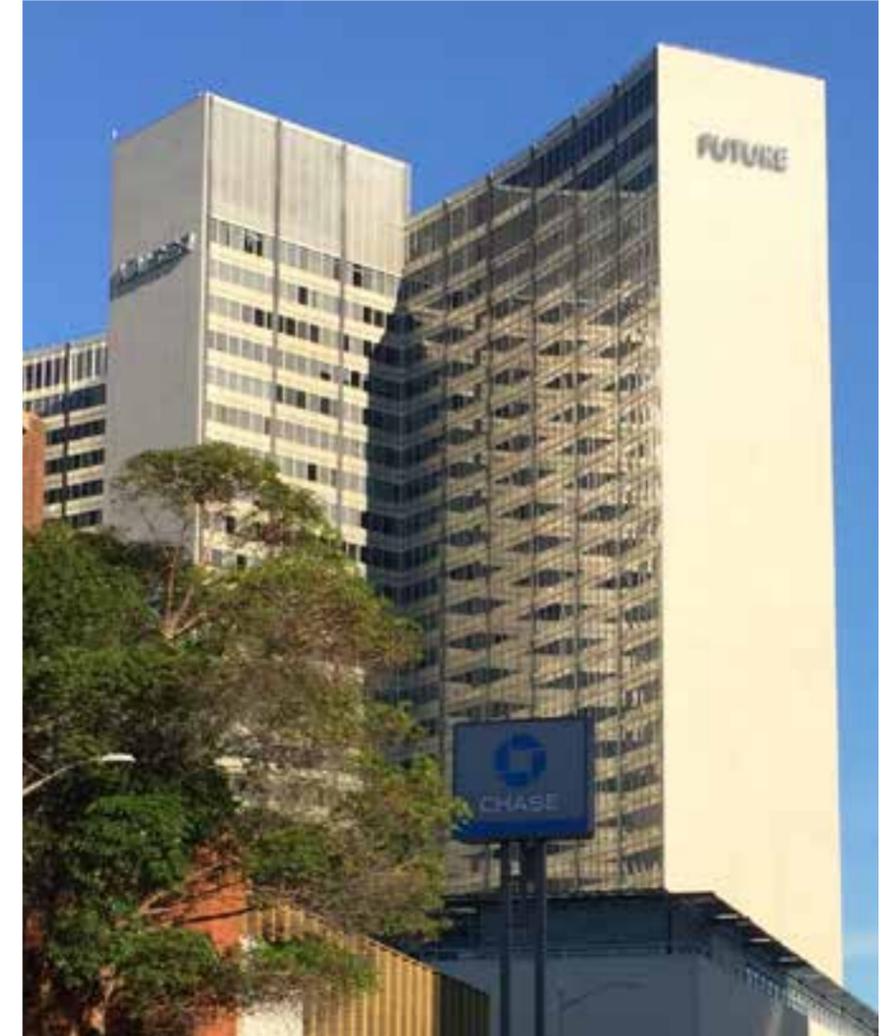
*6" thick fabricated dimensional, metal pan channel letters, painted Kaiser Silver.*

Illumination:

*White, halo illumination from concealed light source within each letter.*



EAST TOWER TENANT SIGN PLACEMENT



WEST TOWER TENANT SIGN PLACEMENT

Key Plan, NTS

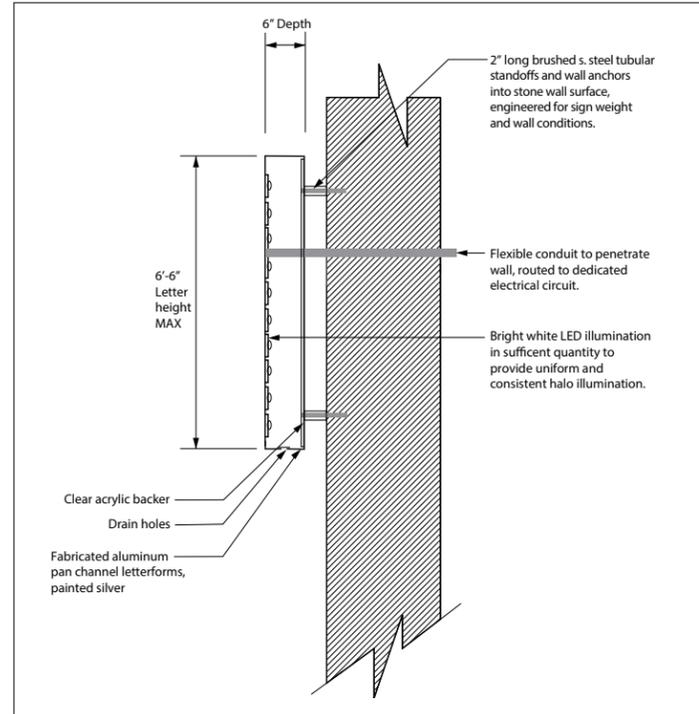


# 4.0 Sign Type Exhibits

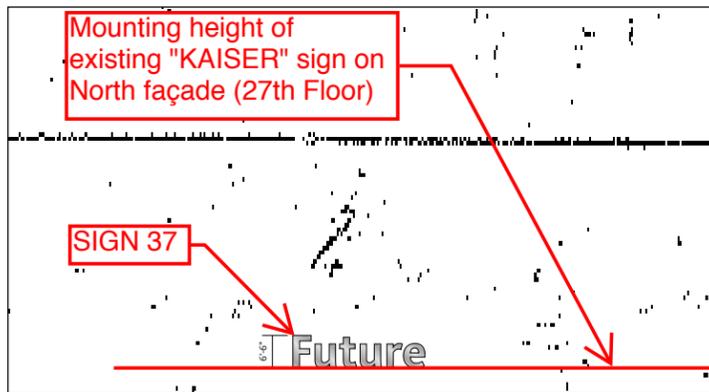
## A.2 Tenant Tower Signs

### Placement and Mounting:

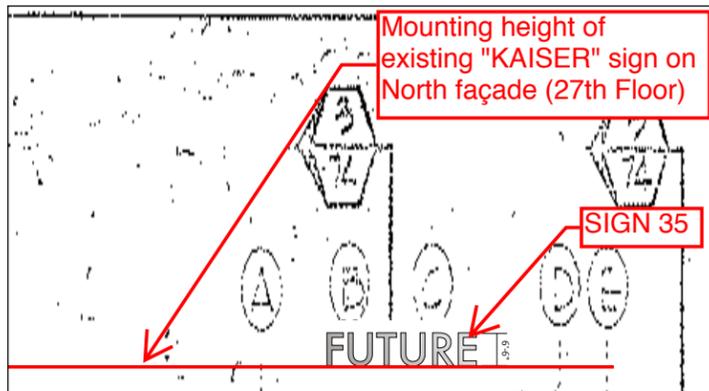
Centered between vertical tower wall edges vertically-aligned with the existing "Kaiser" skyline sign. One Tenant sign location allowed on north façade and one on west façade. Tenant letters mounted with stainless steel standoffs engineered to minimize stone penetrations, centered on stone joints where possible.



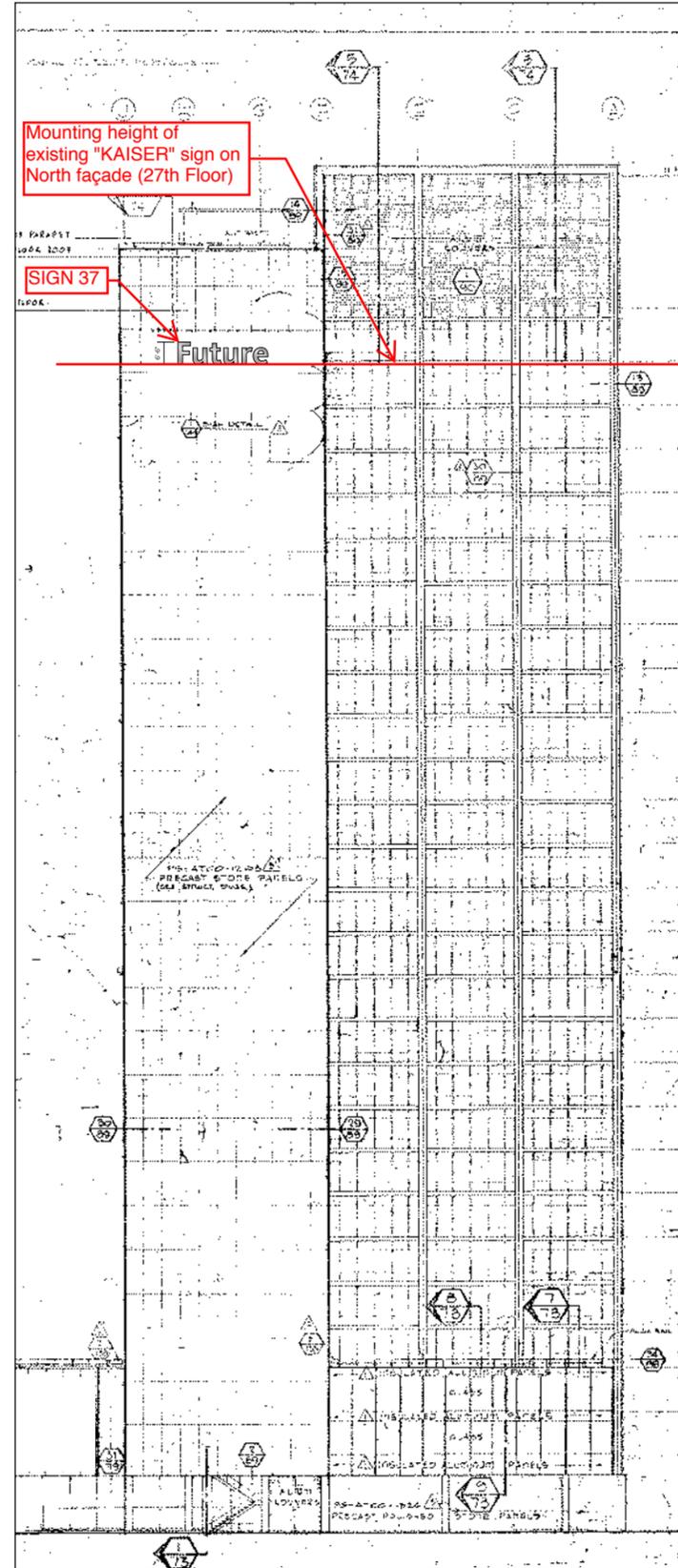
SECTION DETAIL: Pan Channel Halo Letters  
(Scale: NTS)



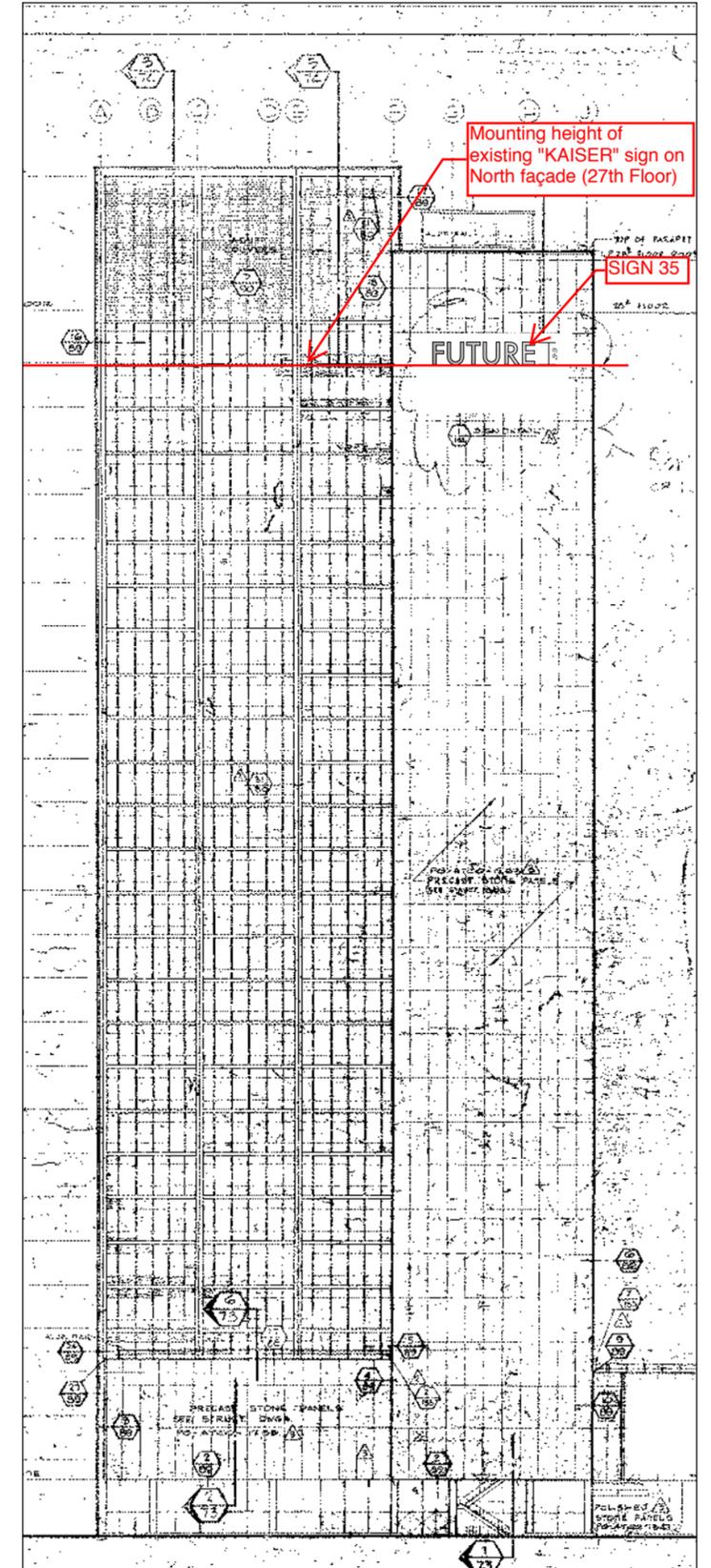
ENLARGED EAST TOWER ELEVATION



ENLARGED WEST TOWER ELEVATION



EAST TOWER ELEVATION



WEST TOWER ELEVATION

Scale: NTS

Key Plan, NTS



## 4.0 Sign Types Exhibits

### B. Wall Signage

#### B.1 Tower Porte-cochère Tenant Wall Signage

Context and Special Considerations:

Tenant signs applied to the tower's porte-cochère require special consideration in placement, design and illumination given their mounting to the existing "Dolomite" stone wall cladding.

Size and Square Footage Allowance:

Up to 2'-0" tall maximum, not to exceed 56 sq. ft. total.

Materials and Color:

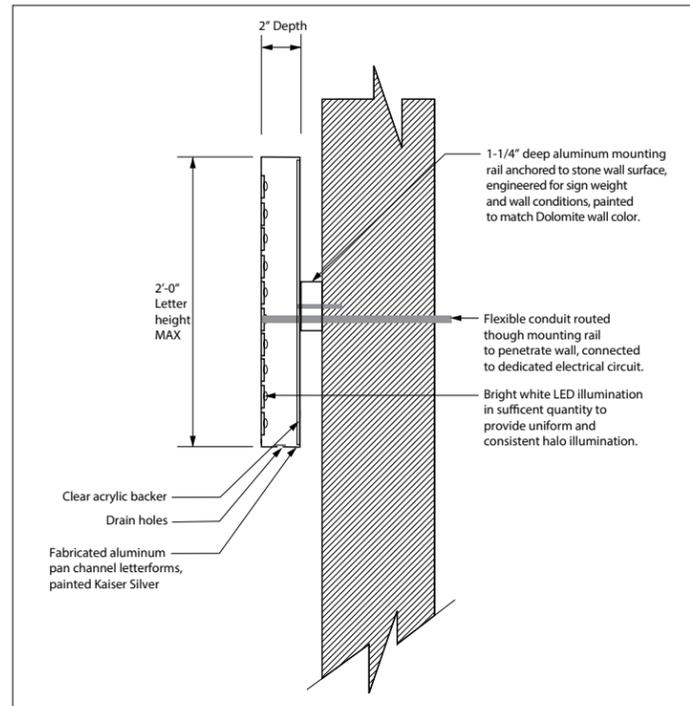
2" thick fabricated dimensional, metal pan channel letters, painted Kaiser Silver. Mounting bar to be Dolomite Warm-white.

Illumination:

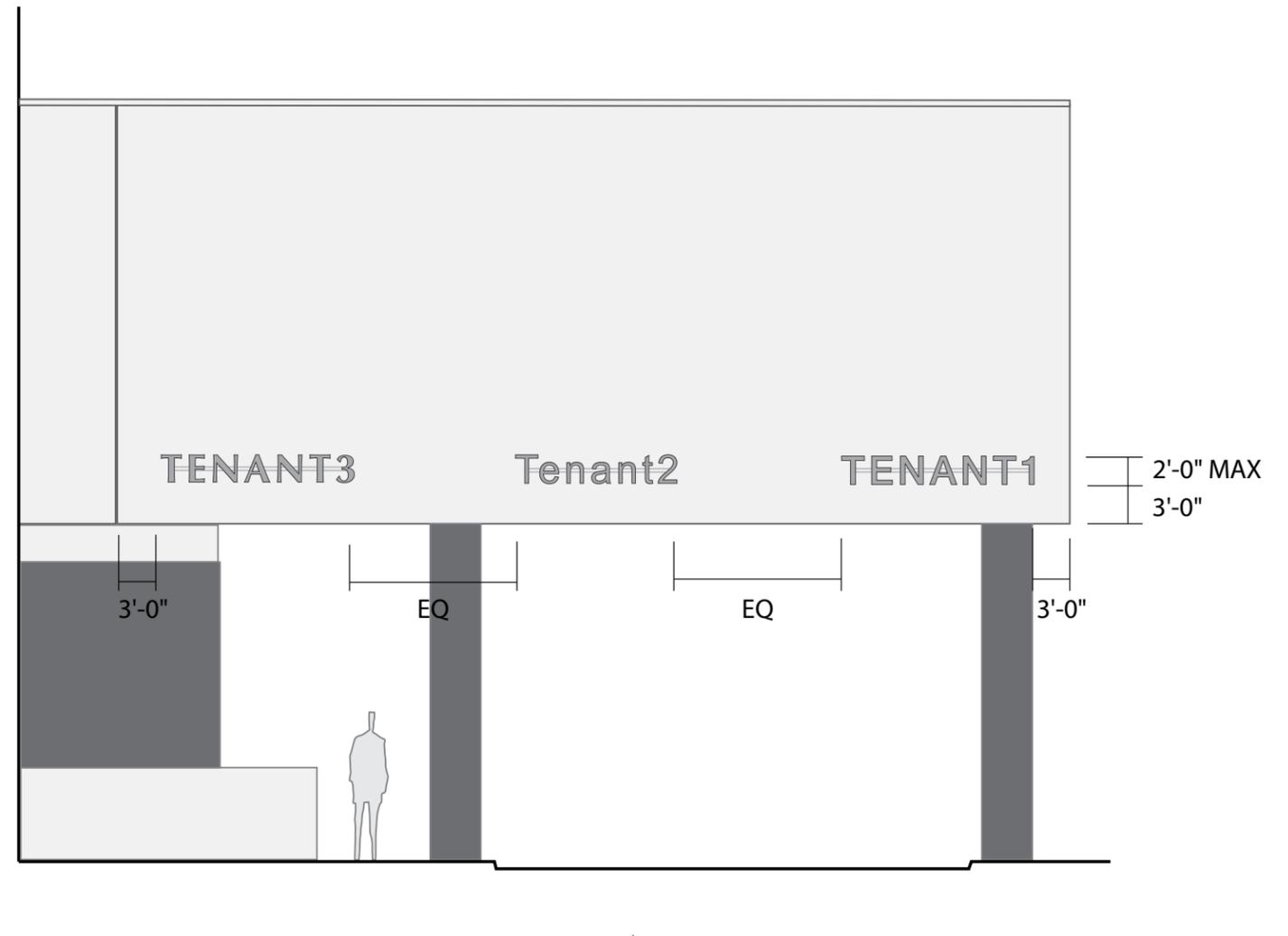
White, halo illumination from concealed light source within each letter.

Placement and Mounting:

Tenant sign locations allowed on south-west porte-cochère façade and north façade, with first Tenant name aligned to street edge closest to Lakeside Drive. Tenant letters mounted with metal raceway, engineered to minimize stone penetrations, centered on stone joints where possible.

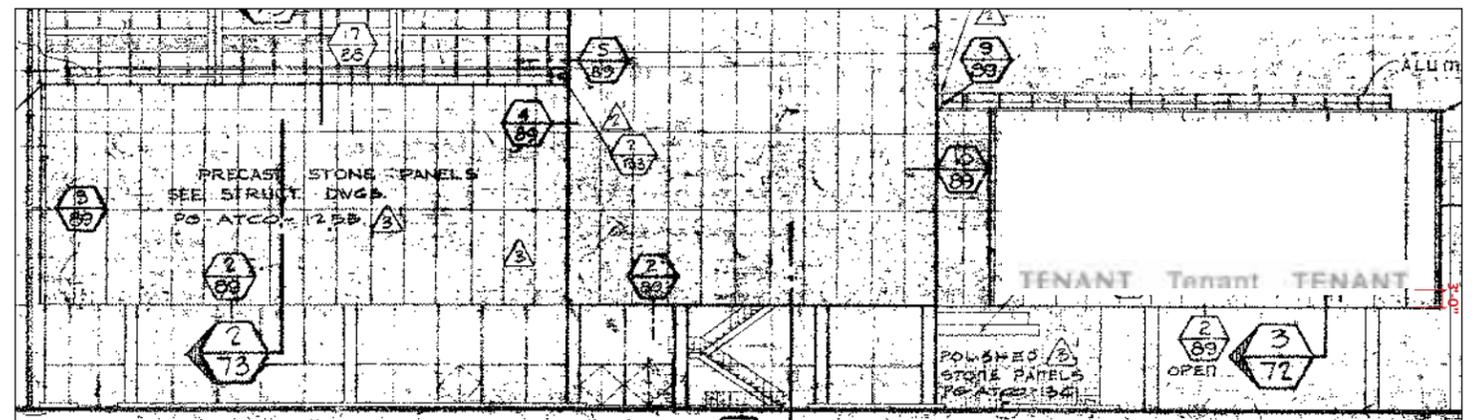


SECTION DETAIL: Pan Channel Halo Letters and Rail (Scale: NTS)



PARTIAL TOWER WEST PORTE COCHERE ELEVATION (EAST ELEVATION SIMILAR)

Key Plan, NTS



PARTIAL TOWER WEST PORTE COCHERE ELEVATION (EAST ELEVATION SIMILAR)

Scale: NTS

## 4.0 Sign Types Exhibits

### B.2 Tenant Wall Signage

#### Allowable Content:

Business name, business logo and other supporting identity graphics, subject to City of Oakland approval.

#### Size and Square Footage Allowance:

Up to 3'-0" tall maximum, not to exceed 100 sq. ft. total.

#### Materials and Color:

Individually-mounted, dimensional metal pan channel dimensional letters or logos, without any backer, raceway or mounting panel. No restrictions on color or typestyle usage. No cabinet signs allowed, except where a sign cabinet detail is integral to the Tenant's logo design, subject to City of Oakland approval.

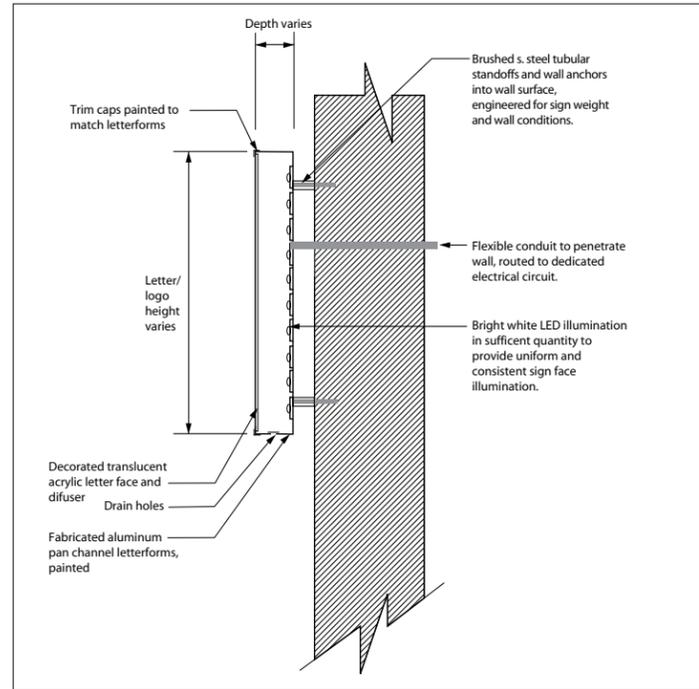
#### Illumination:

Letters/logos may be non-illuminated, or internally-illuminated through colored letter faces from concealed white light source within each letter.

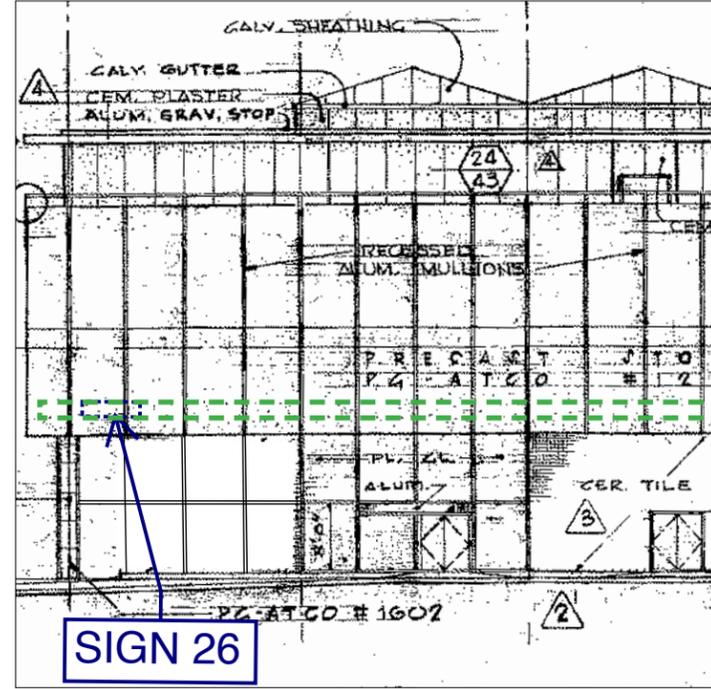
#### Placement: (zone indicated by green dashed line)

Locate signs uniform 3'-0" distance above horizontal bottom edge of projecting building façade. No tenant shall have more than one (1) wall sign, except those tenants with corner locations, which shall be allowed two (2) signs, or tenants occupying an entire building storefront area, which shall be allowed up to four (4) signs. Preferred sign mounting locations are above main tenant space entry or window bay, at building corners and spaced regularly along building facade, at discretion of City of Oakland.

Note to Sign Location 16: Existing tenant identification wall sign is non-conforming, but may be retained at this location only, including future replacement.



SECTION DETAIL: Face-Illuminated Pan Channel Letters (Scale: NTS)



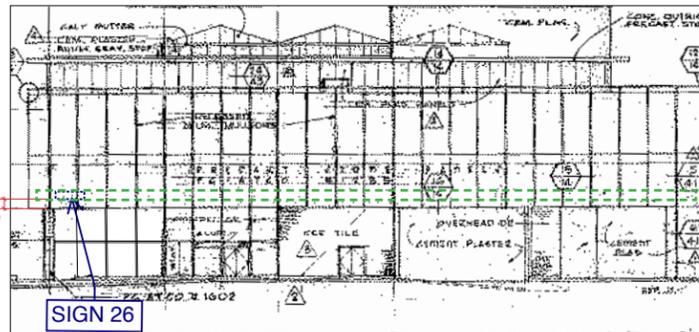
ENLARGED RETAIL MALL EAST ELEVATION



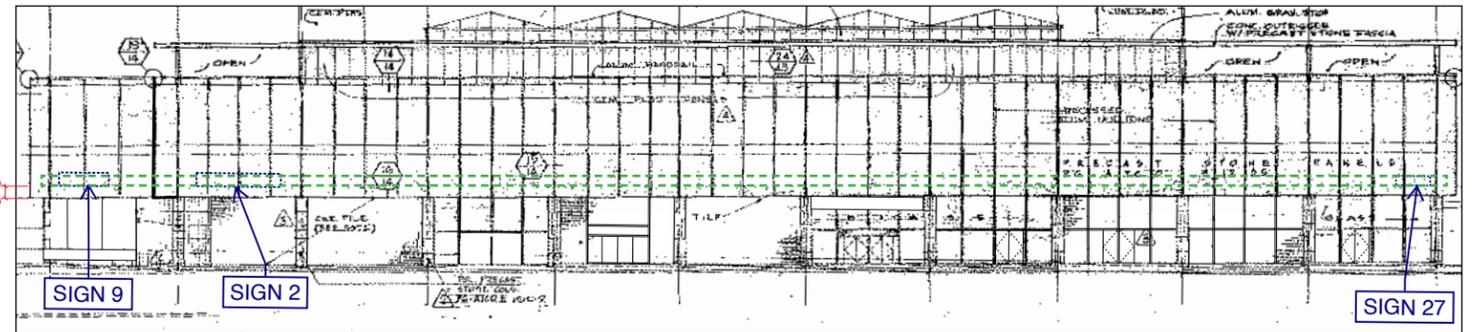
EXAMPLE TENANT WALL SIGN WITH LOGO CABINET



EXAMPLE TENANT WALL SIGN



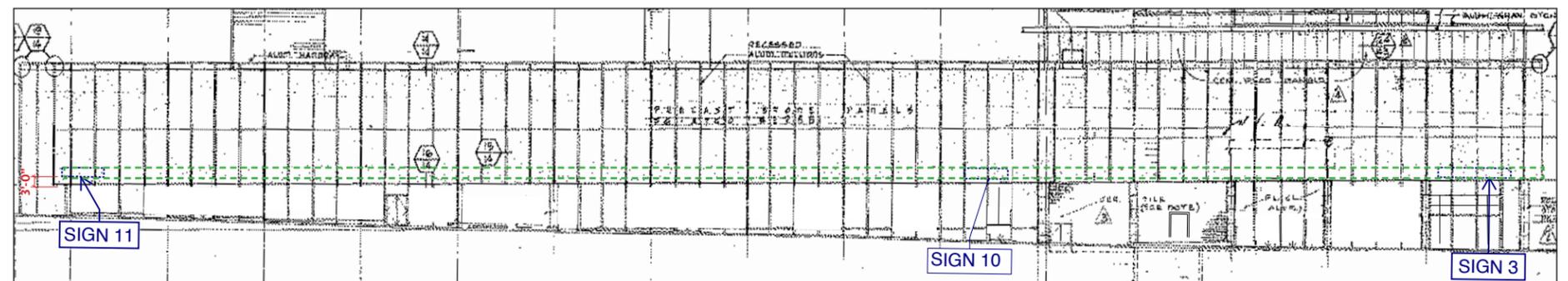
PARTIAL RETAIL MALL EAST ELEVATION



RETAIL MALL SOUTH ELEVATION



Key Plan, NTS



RETAIL MALL WEST ELEVATION  
Scale: NTS

## 4.0 Sign Types Exhibits

### C. Storefront Signage

#### C.1 Window Signage

Allowable Content:

Tenant Business name and/or other supporting graphics, including street/suite address, subject to City of Oakland approval.

General Size and Square Footage Allowance:

Window signs allowed unlimited within individual glazed window areas, subject to City of Oakland approval. This is an exemption to the City of Oakland's 25% coverage maximum. Street/suite address lettering minimum 6" cap height, applied directly to window surface centered above primary Tenant entry doors.

Materials, Color and Typography:

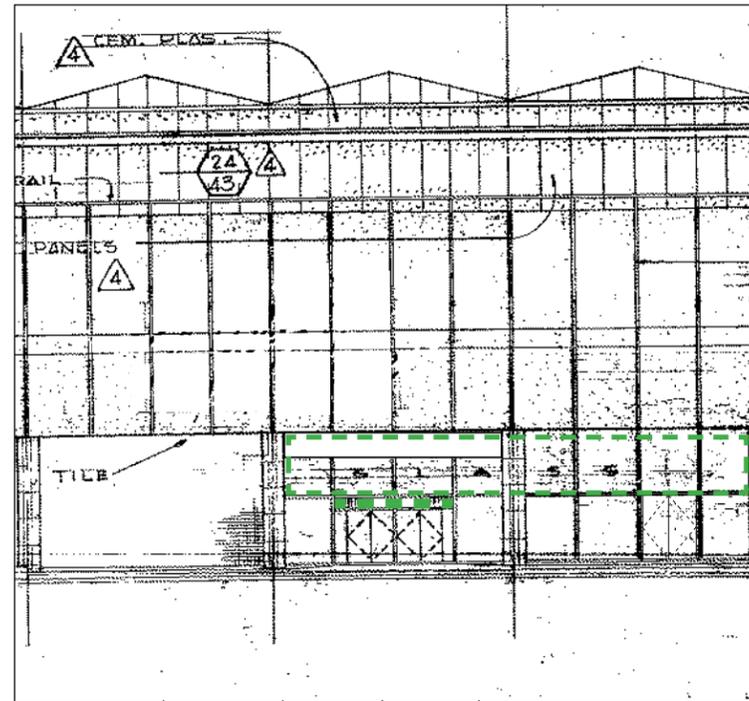
Adhesive vinyl film or painted lettering applied to window glass, second surface. No restrictions on color or typestyle usage.

Illumination:

Illumination not allowed.

Placement: (zone indicated by green dashed line)

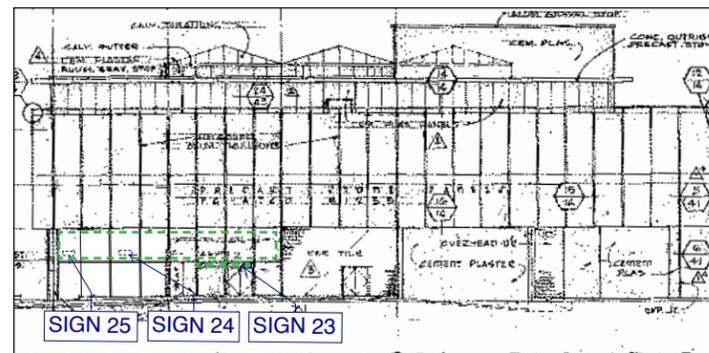
Applied to Tenant's storefront upper transom glazing area limited to Tenants lease area. Where there is no upper glazing area, window signs may be placed in lower glazing area, but only with City of Oakland approval.



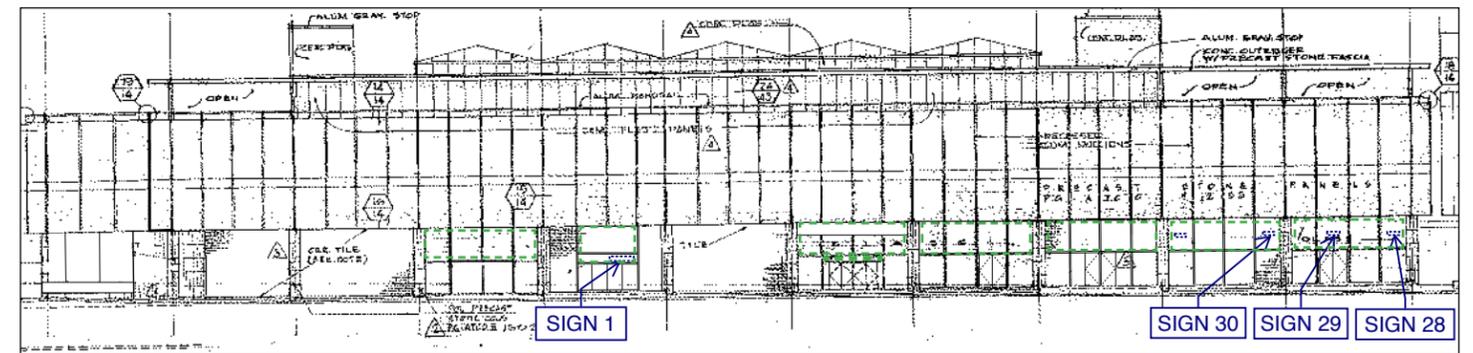
ENLARGED RETAIL MALL SOUTH ELEVATION



EXAMPLE TENANT WINDOW SIGN

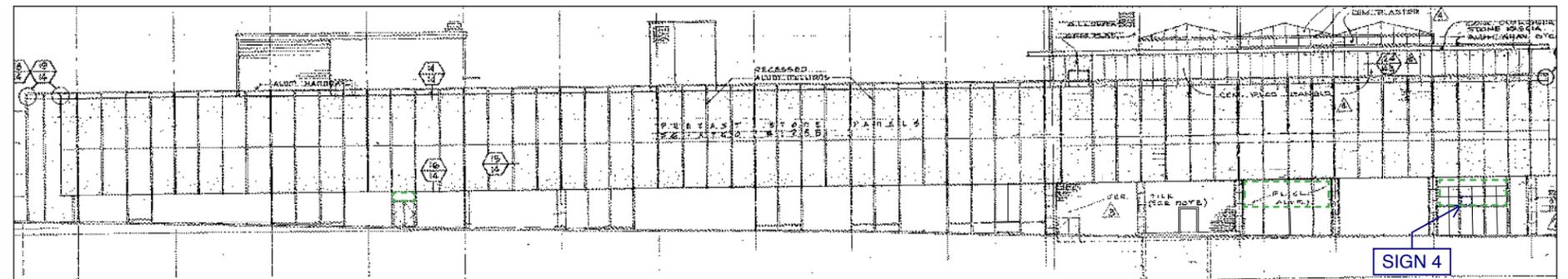
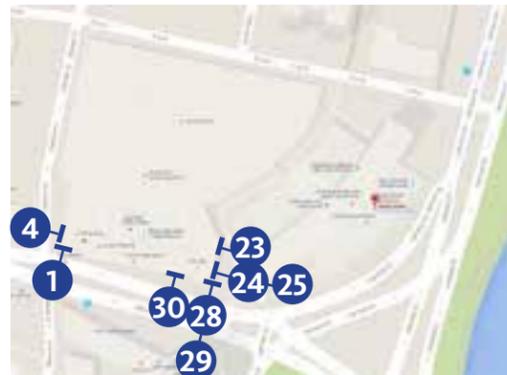


PARTIAL RETAIL MALL EAST ELEVATION



RETAIL MALL SOUTH ELEVATION

Key Plan, NTS



RETAIL MALL WEST ELEVATION

Scale: NTS

## 4.0 Sign Types Exhibits

### C.2 Business & Promotional Graphics

#### Allowable Content:

Promotion and/or business hours and information may be allowed applied to windows at the Tenant's storefront, but there is a strong preference for business advertisements or other informational signage to be orderly and organized.

#### General Size and Square Footage Allowance:

Promotional & business signs are limited by the City of Oakland's 25% coverage maximum within any individual lower glazed area.

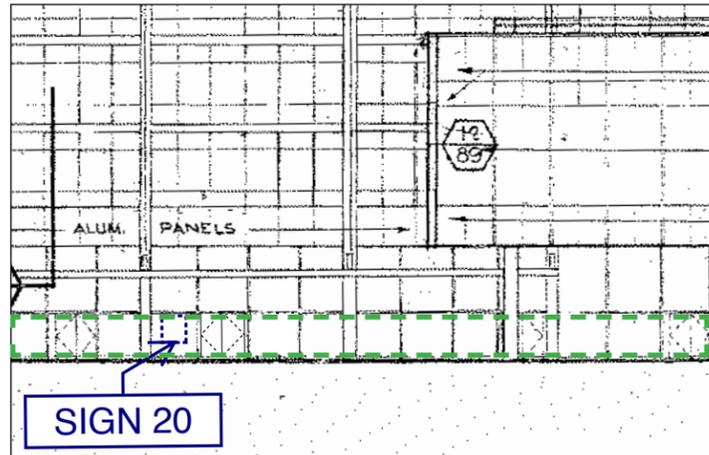
#### Materials, Color and Typography:

Adhesive vinyl film or painted lettering applied to window glass second surface limited to Kaiser White color only, or suspended banners or posters placed behind glass line. No restrictions on typestyle usage.

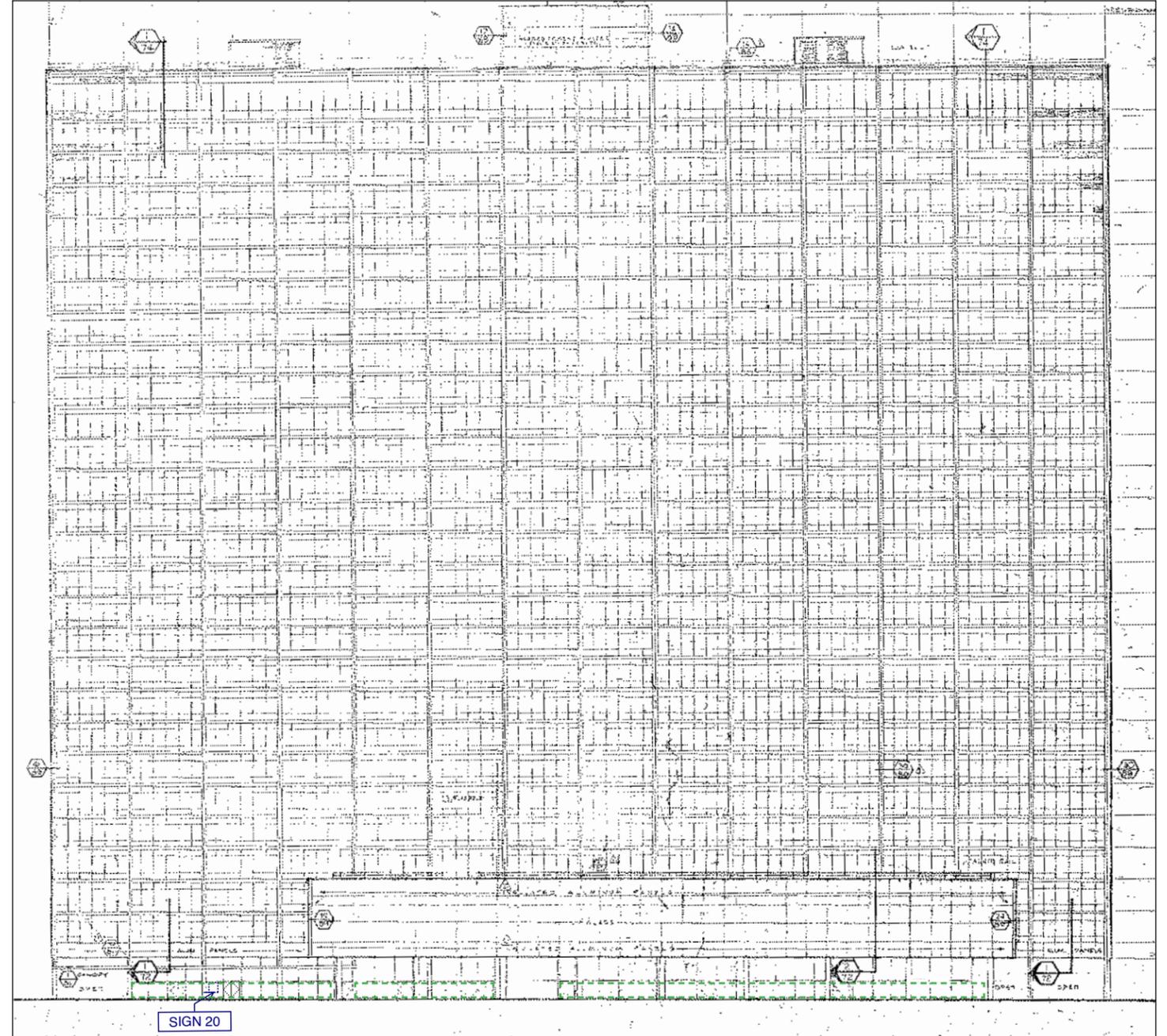
Placement and Mounting : (zone indicated by green dashed line) Applied to lower storefront glazing with a strong preference to be limited to glass sidelight windows flanking entry doors, or suspended behind glass line. Graphics may be applied to Tenant entry doors only with City of Oakland approval.



EXAMPLE TENANT BUSINESS GRAPHICS

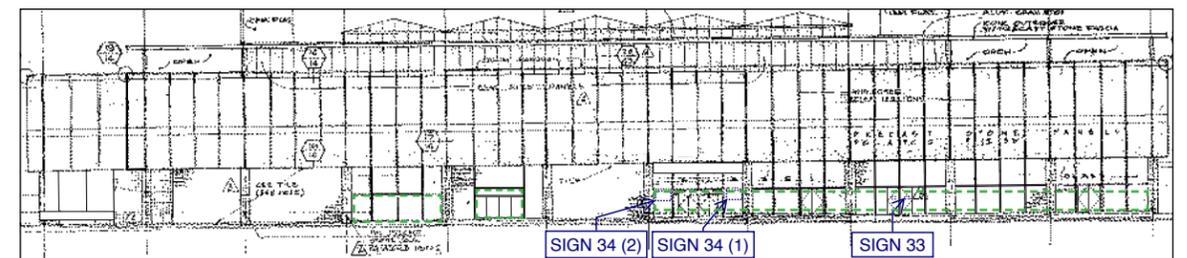


ENLARGED TOWER EAST ELEVATION



TOWER EAST ELEVATION

Key Plan, NTS



RETAIL MALL SOUTH ELEVATION

Scale: NTS

## 4.0 Sign Types Exhibits

### D. Monument Signage

#### D.1 Primary Building Monument

Context and Special Considerations:

*Provides project address and is the primary welcoming project identification sign.*

Size and Square Footage Allowance:

*As noted, to match existing monument approximate dimensions, single sided.*

Materials, Colors, and Typography:

*High quality, durable painted metal, stone or other exterior sign materials chosen to be complimentary to the building architectural palate, and consistent with all other project monument signs. Project address in building standard typeface (see Graphics Standards section).*

Illumination:

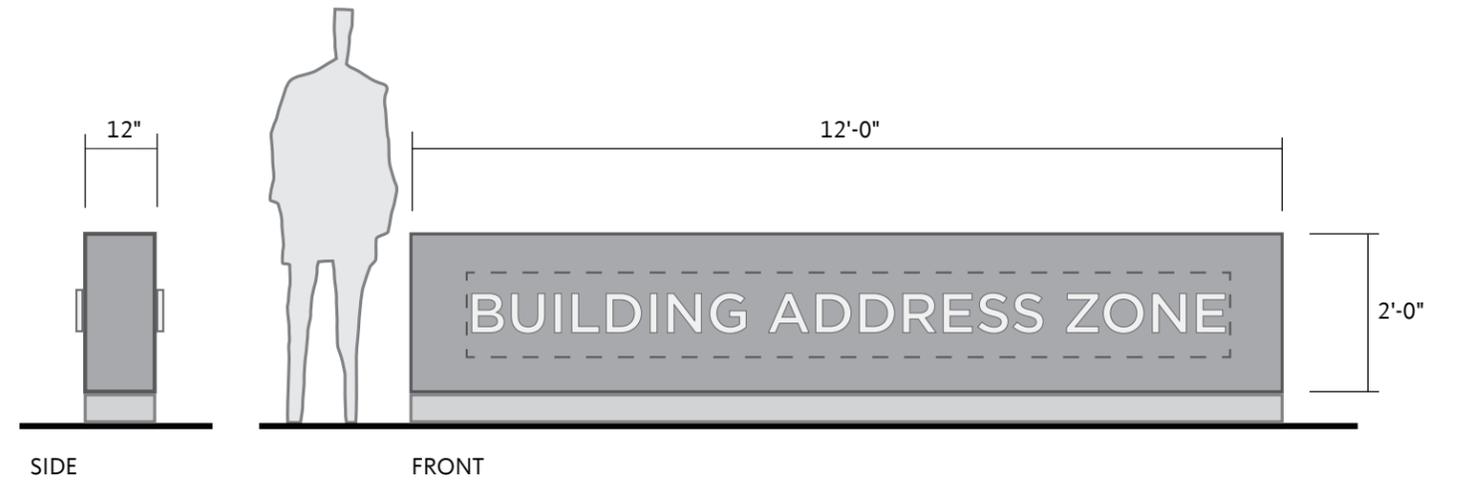
*Landscape-type, ground mounted uplight illumination from white light source.*

Placement:

*Location to be same as existing primary monument.*



EXISTING BUILDING ADDRESS MONUMENT SIGN



Key Plan, NTS



## 4.0 Sign Types Exhibits

### D.2 Tenant Monument

Context and Special Considerations:

*Provides project identity and Tenant identities and serves as a significant project wayfinding element.*

Size and Square Footage Allowance:

*Sizes as noted, to match existing monument approximate dimensions, single-sided. No Tenant logo/name may occupy more than 50% of any monument sign.*

Tenant Identities and Typography:

*Project identity in building standard typeface (see Graphics Standards section). No restrictions on color or typestyle usage for Tenant identities.*

Materials and Colors:

*High quality, durable painted metal, stone or other exterior sign materials chosen to be complimentary to the building architectural palate, and consistent with all other project monument signs.*

Illumination:

*Landscape-type, ground mounted uplight illumination from white light source.*

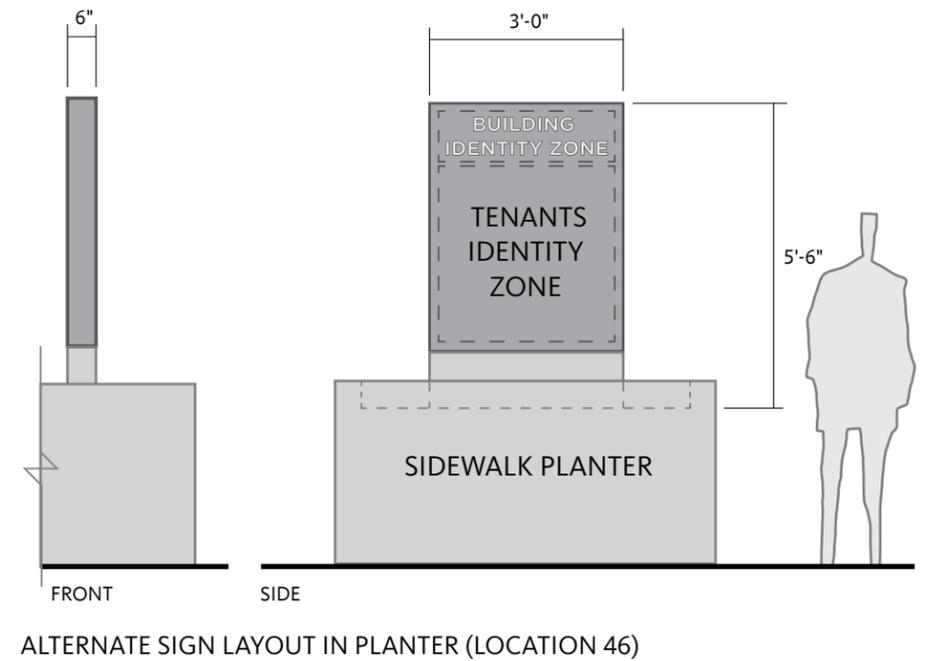
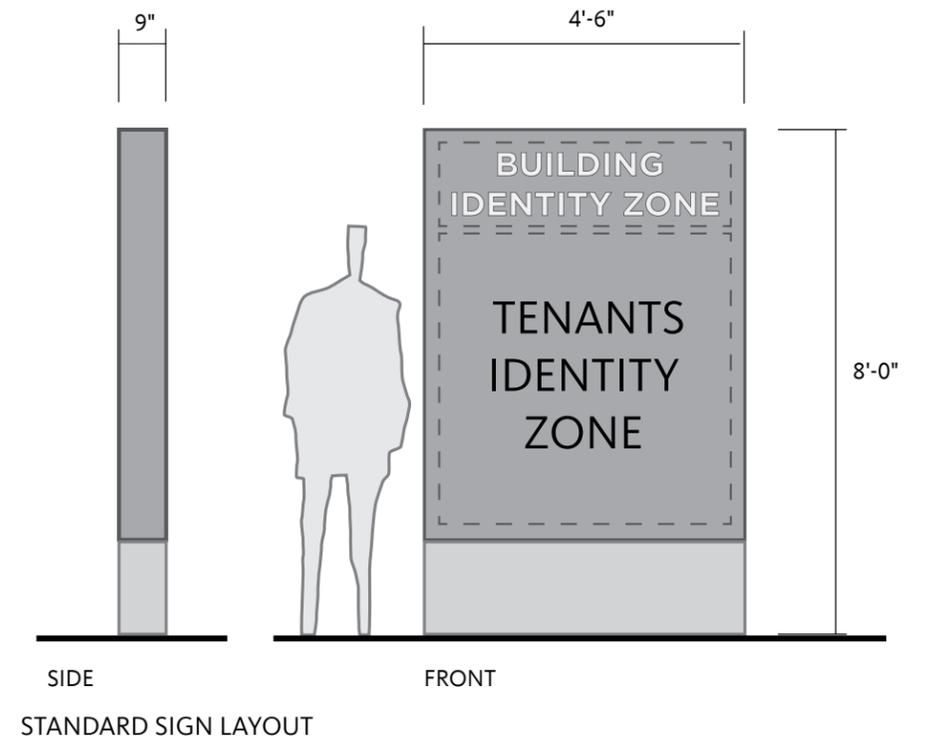
Placement:

*Locations to be same as existing tenant monuments, with*

Key Plan, NTS



EXISTING BUILDING TENANT MONUMENT SIGN



## 4.0 Sign Types Exhibits

### D.3 Garage Monument

Context and Special Considerations:

*Provides project identity, garage directional and tenant identities and serves as a significant project wayfinding element.*

Size and Square Footage Allowance:

*Size as noted, to match existing monument approximate dimensions, single sided. No tenant logo/name may occupy more than 50% of any monument sign.*

Materials, Colors, and Typography:

*High quality, durable painted metal, stone or other exterior sign materials chosen to be complimentary to the building architectural palate, and consistent with all other project monument signs. Project identity in building standard typeface (see Graphics Standards section). No restrictions on color or typestyle usage for Tenant identities.*

Illumination:

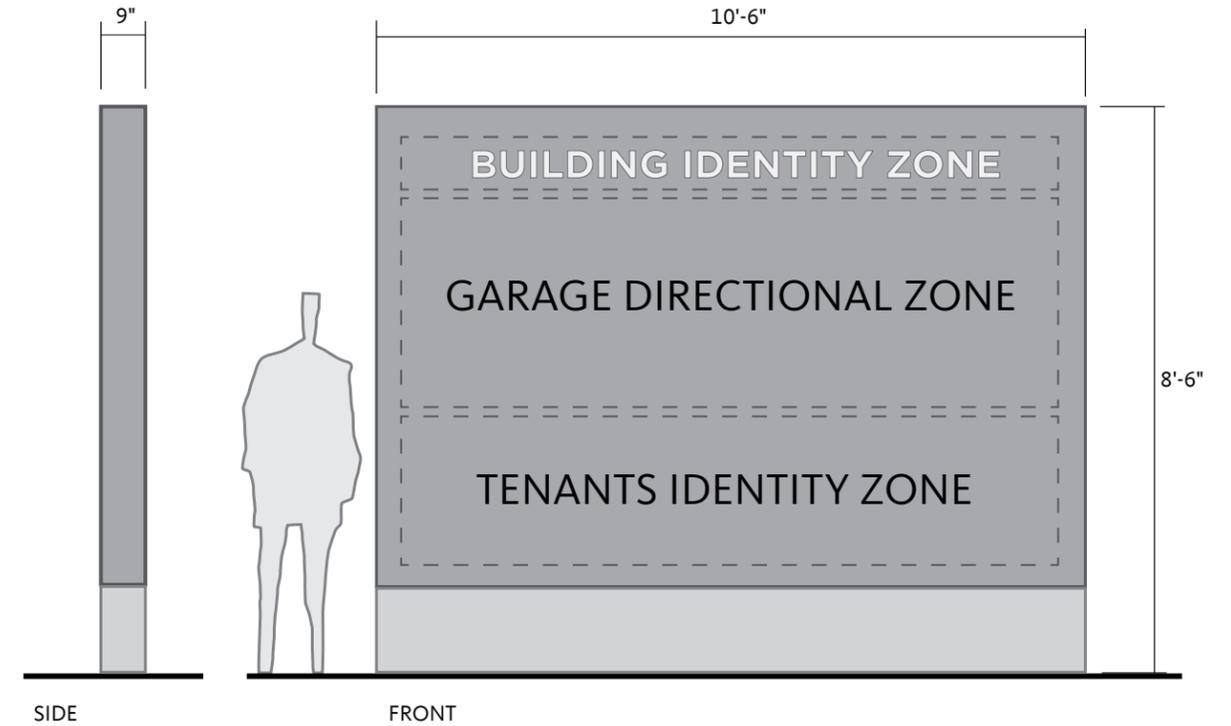
*Landscape-type, ground mounted upright illumination from white light source.*

Placement:

*Location to be same as existing garage monument.*



EXISTING BUILDING GARAGE MONUMENT SIGN



Key Plan, NTS



Scale: NTS

Scale: NTS

## 4.0 Sign Types Exhibits

### E. Directories

#### E.1 Building Tenant Directory

##### Context:

Provides building and retail Tenant identification and serves as a significant pedestrian wayfinding element.

##### Size and Square Footage Allowance:

Size as noted, to match existing directory approximate dimensions, single sided.

##### Tenant Identities and Typography:

Project identity and Tenant names in building standard typeface (see Graphics Standards section).

##### Materials and Colors:

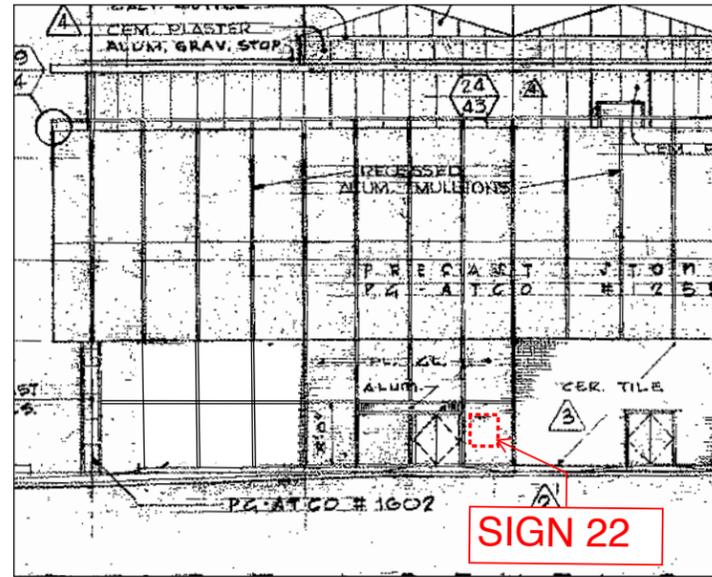
High quality, durable painted metal, glass or other exterior sign materials chosen to be complimentary to the building architectural palate, and consistent with other exterior project signs.

##### Illumination:

Illumination not allowed.

##### Placement and Mounting:

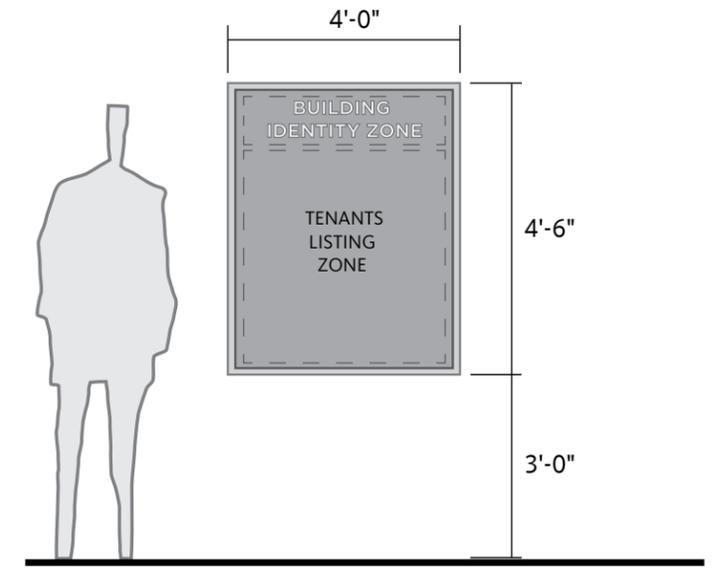
Wall-mounted adjacent to primary building entry points.



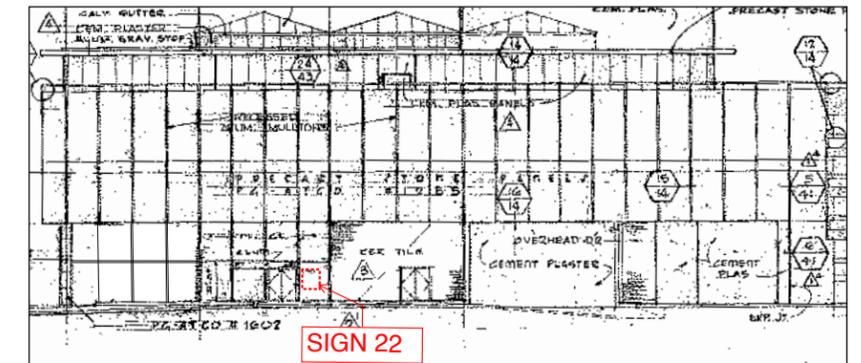
ENLARGED RETAIL MALL EAST ELEVATION



EXISTING BUILDING DIRECTORY SIGN

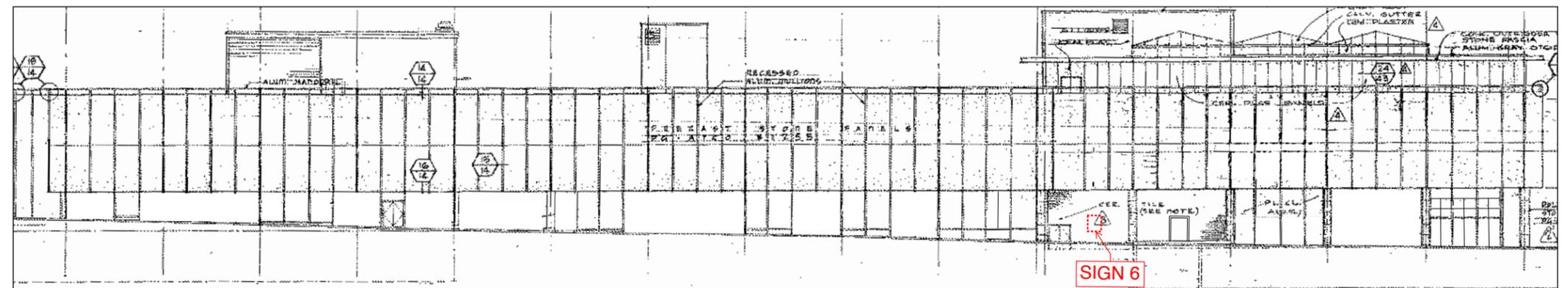


FRONT



PARTIAL RETAIL MALL EAST ELEVATION

##### Key Plan, NTS



RETAIL MALL WEST ELEVATION

Scale: NTS

## 4.0 Sign Types Exhibits

### F. Parking Garage Entry

#### F.1 Entry Sign

Context and Special Considerations:

*Parking garage entry signs guide users to the Kaiser Center dedicated parking structure, and are an important welcome to this amenity.*

Size and Square Footage Allowance:

*Up to 1'-6" tall letters maximum.*

Materials, Colors, and Typography:

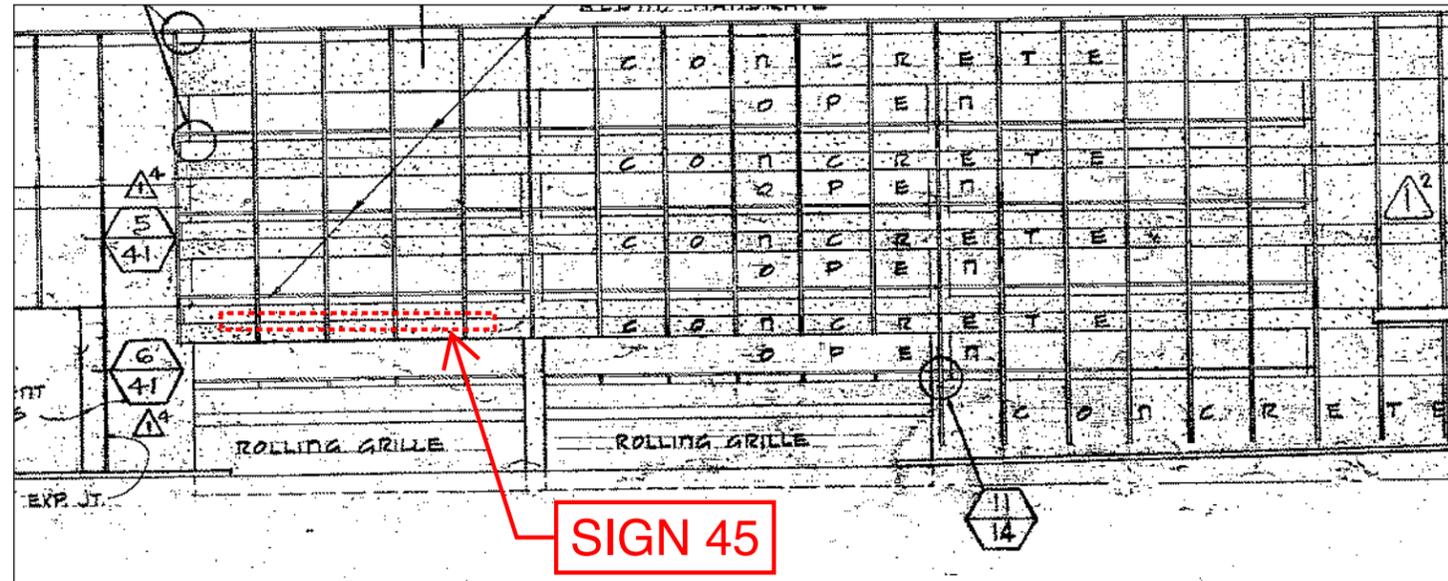
*Dimensional pan-channel letters, painted Kaiser Metallic Gray (see Graphics Standards section). Project identity and garage lettering in building standard typeface (see Graphics Standards section).*

Illumination:

*Letters may be non-illuminated, or halo-illuminated from concealed white light source in each letter.*

Placement and Mounting

*Letters mounted to face of building centered over garage entry, attached with metal raceway painted to match wall color, engineered to minimize stone penetrations and centered on stone joints where possible.*

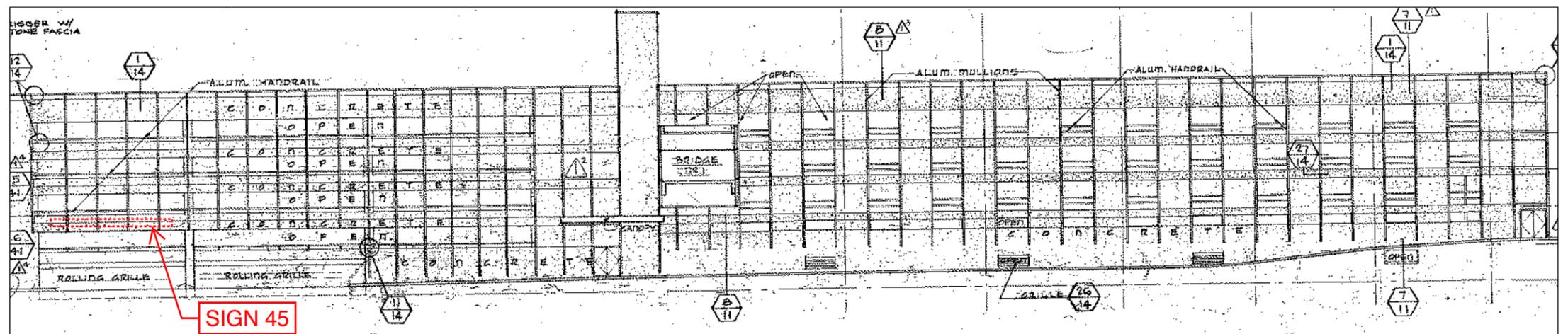


ENLARGED GARAGE EAST ELEVATION



GARAGE WEST ELEVATION

Key Plan, NTS



GARAGE EAST ELEVATION

Scale: NTS

## 4.0 Sign Types Exhibits

### F.2 Blade Sign

#### Context and Special Considerations:

Parking garage entry signs guide users to the Kaiser Center dedicated parking structure, and are an important welcome to this amenity. The projecting blade sign provides long distance visibility to garage entry.

#### Size and Square Footage Allowance:

Up to 2'-0" wide x 12'-0" tall maximum, not to exceed 24 sq. ft. each side, double-sided.

#### Materials, Colors, and Typography:

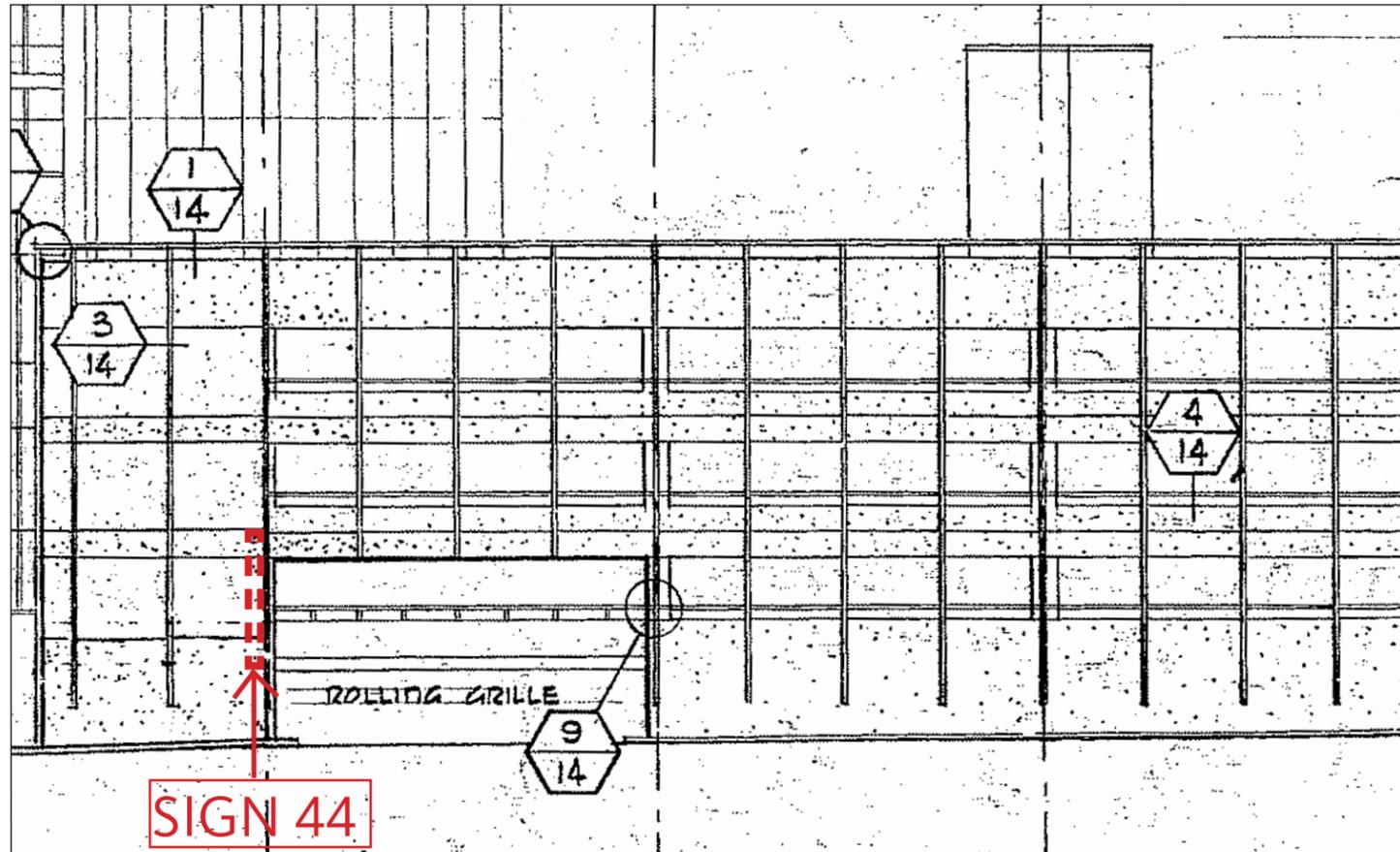
Fabricated metal sign cabinet painted Kaiser Metallic Gray (see Graphics Standards section), with push-through white lettering. Garage lettering in building standard typeface (see Graphics Standards section).

#### Illumination:

Internally illuminated push-through translucent white letters from concealed white light source

#### Placement and Mounting:

Mounted perpendicular to face of building adjacent to garage entry, engineered to minimize stone penetrations and centered on stone joints where possible.



ENLARGED GARAGE NORTH ELEVATION

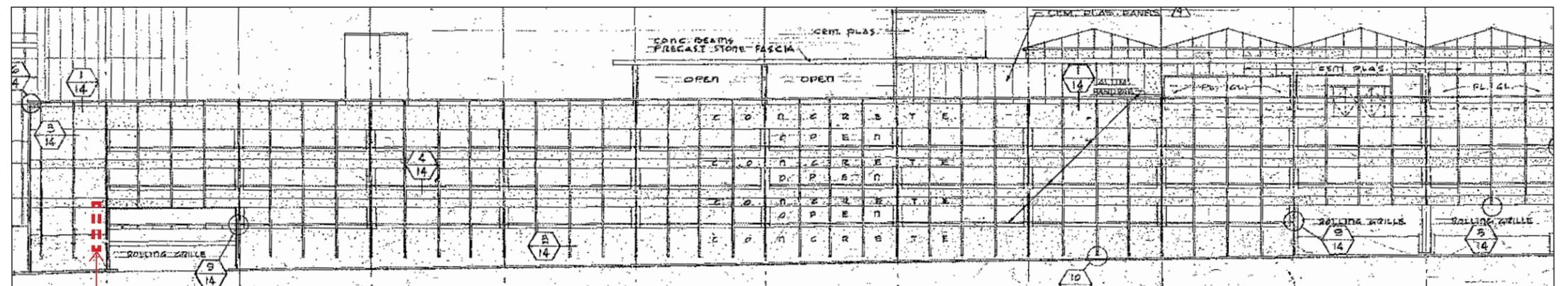


EXISTING PARKING GARAGE BLADE SIGN

#### Key Plan, NTS



Scale: NTS

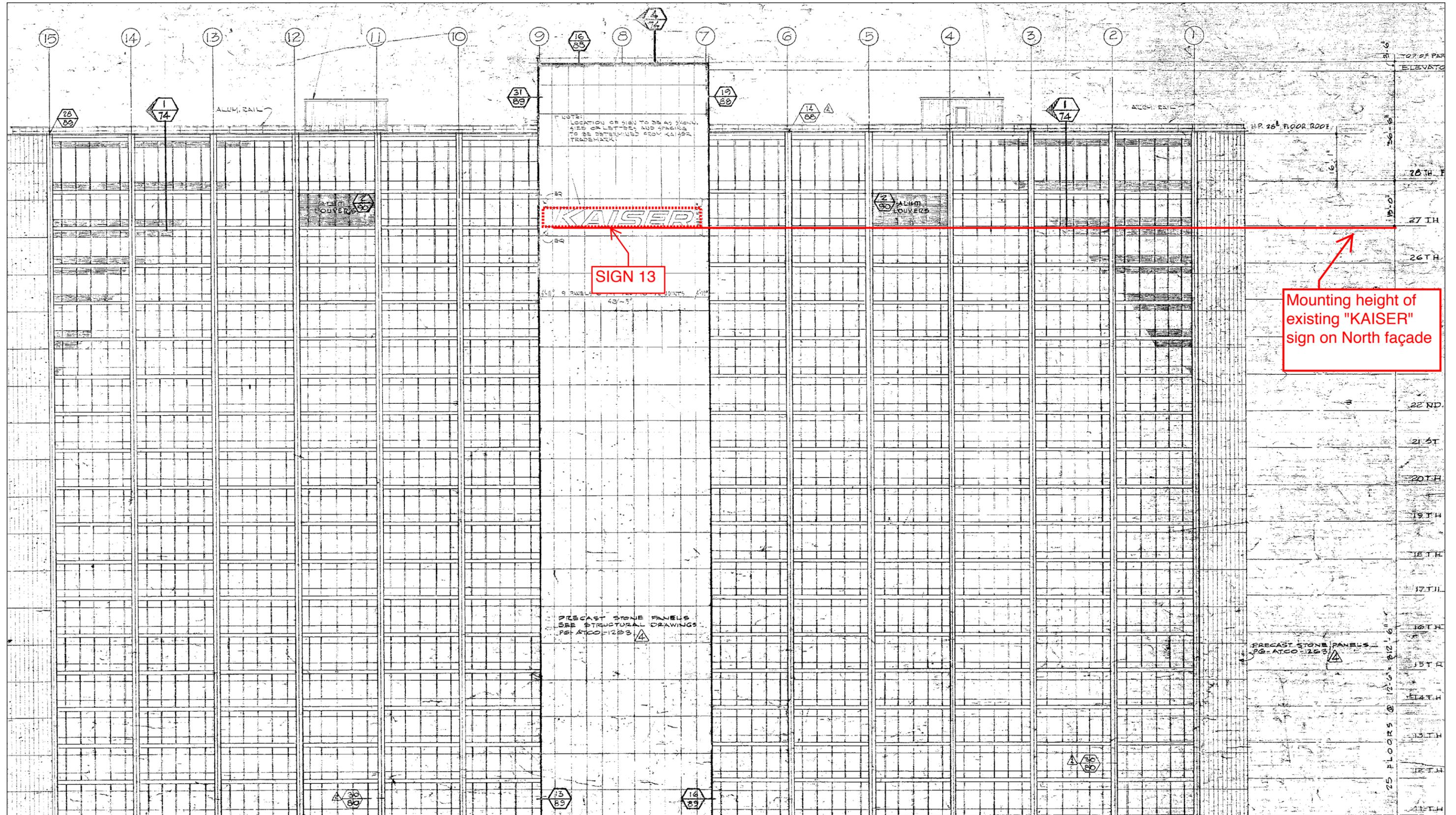


GARAGE NORTH ELEVATION

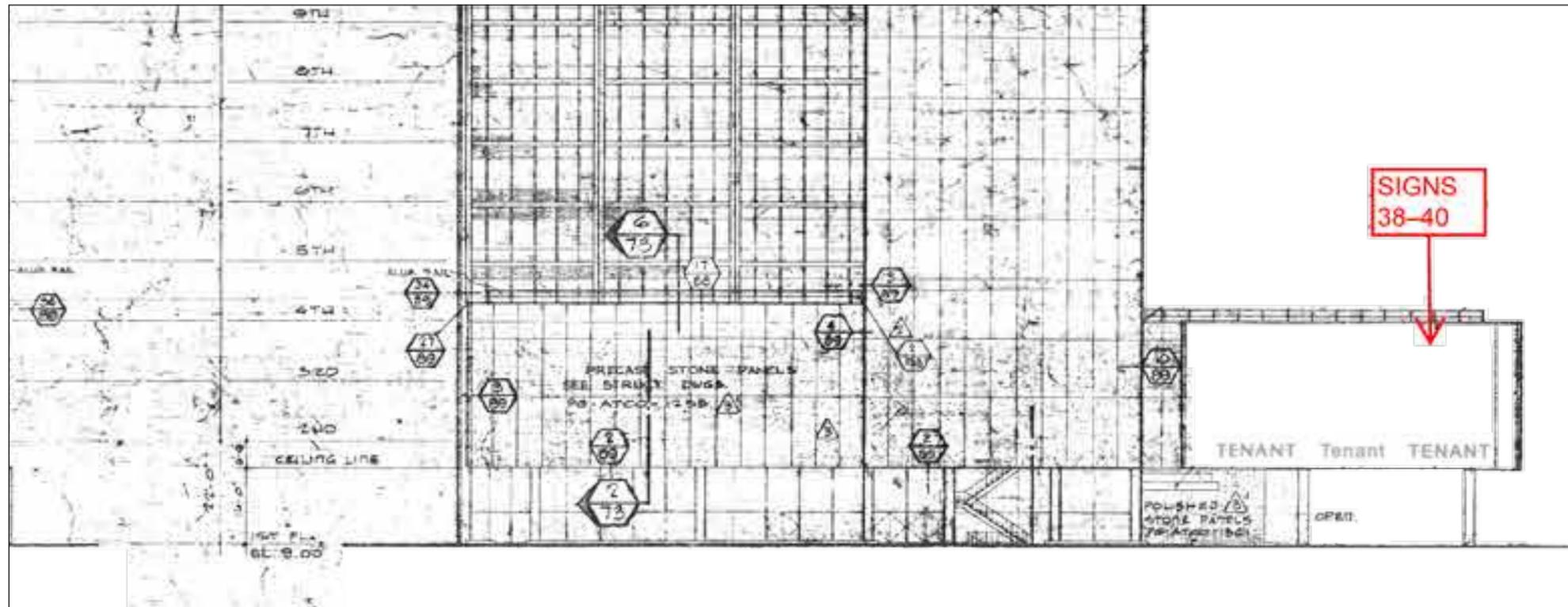
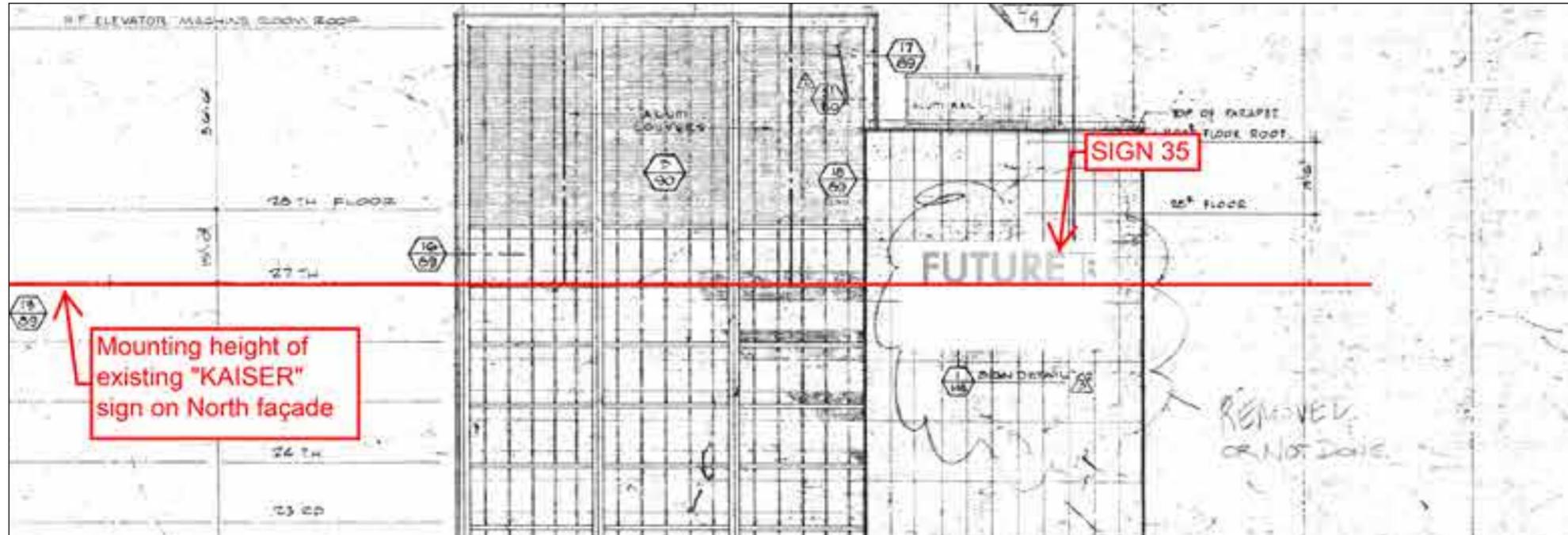
Scale: NTS

SIGN 44

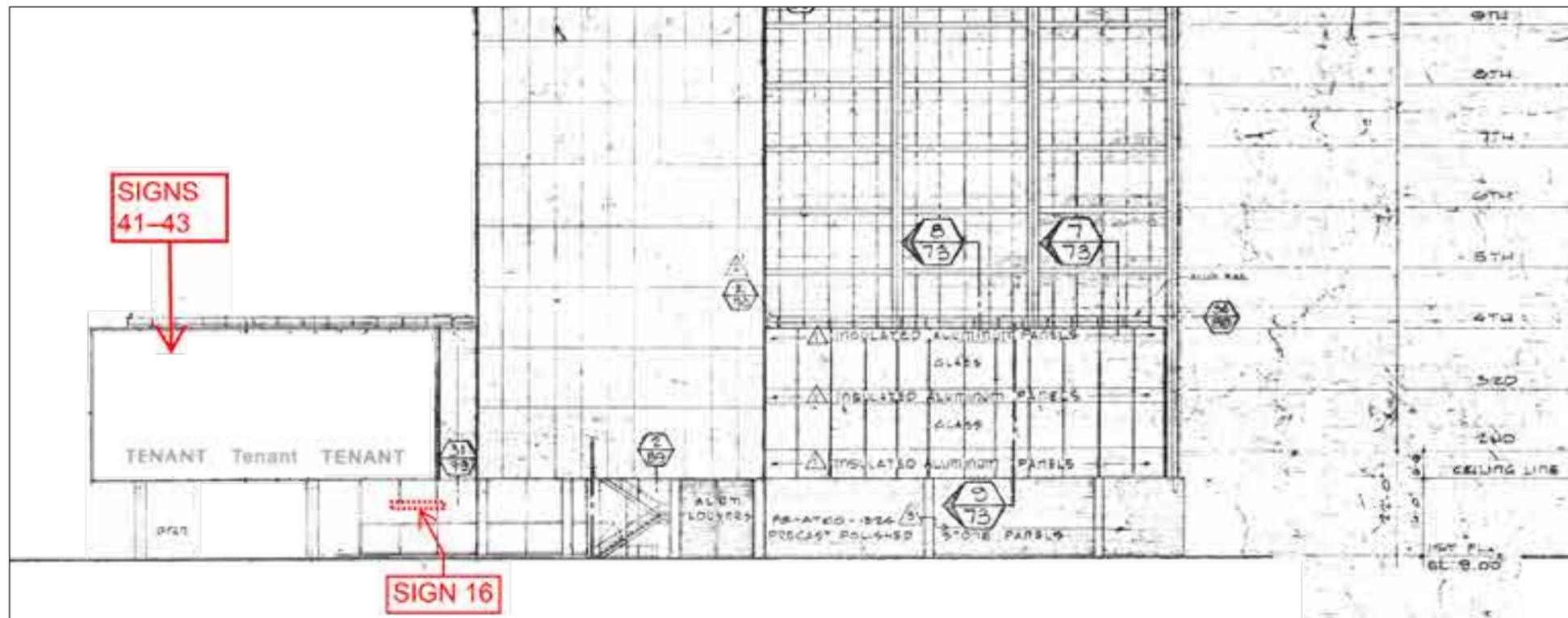
### 5.1 Building Elevation - Tower Skyline Elevations (North)



## 5.2 Building Elevation - Tower West Elevation at Porte-cochère



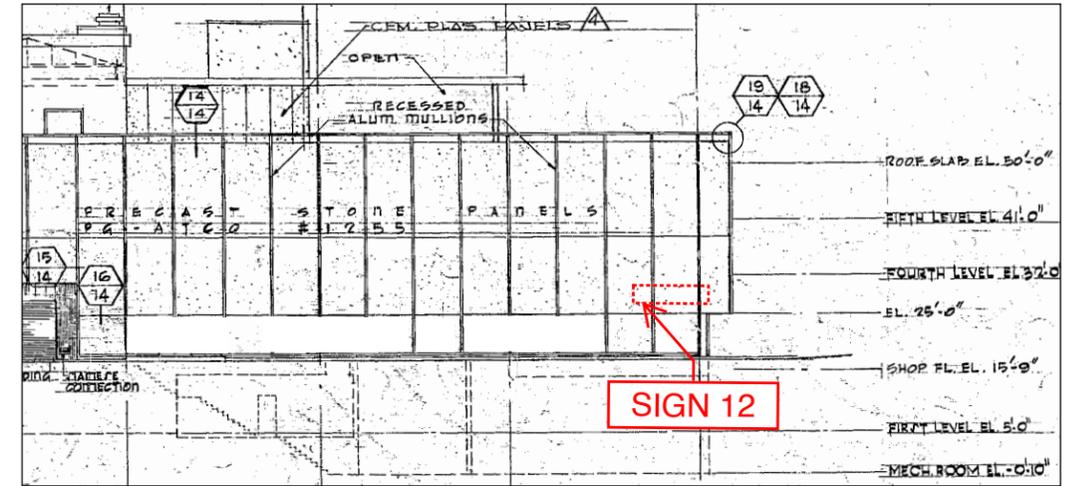
5.3 Building Elevation - Tower East Elevation at Porte-cochère



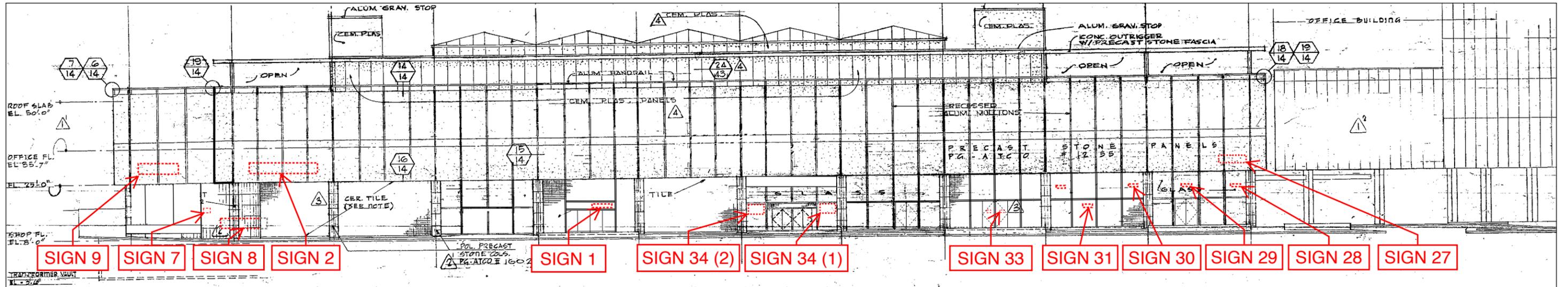
# 5.4 Tower South Elevation



5.6 Retail Mall North & South Elevation

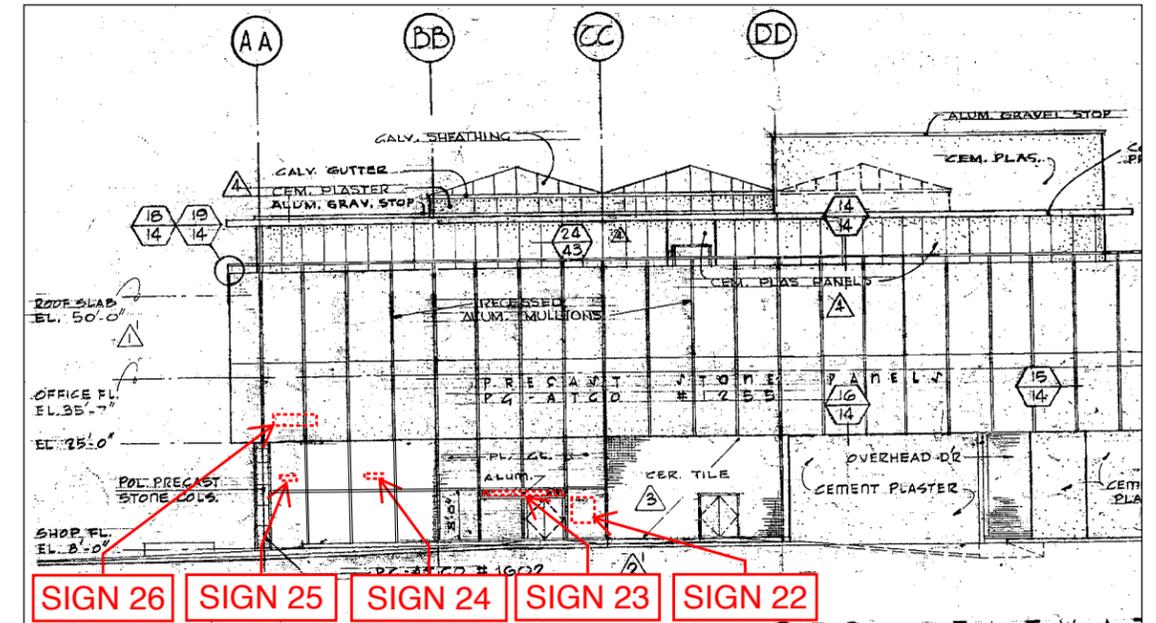


Partial Retail Mall North Elevation

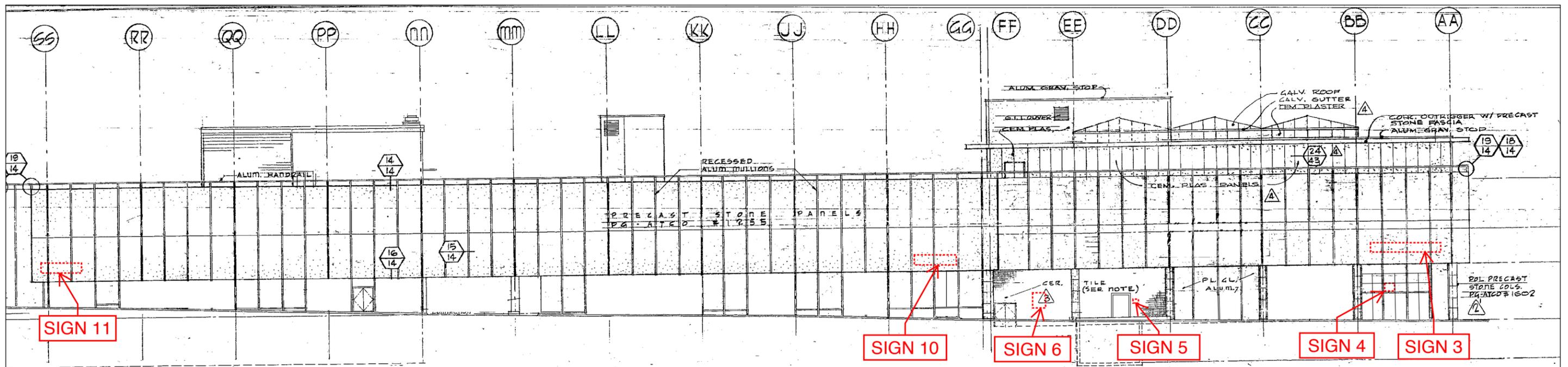


Partial Retail Mall South Elevation

5.5 Retail Mall East & West Elevation



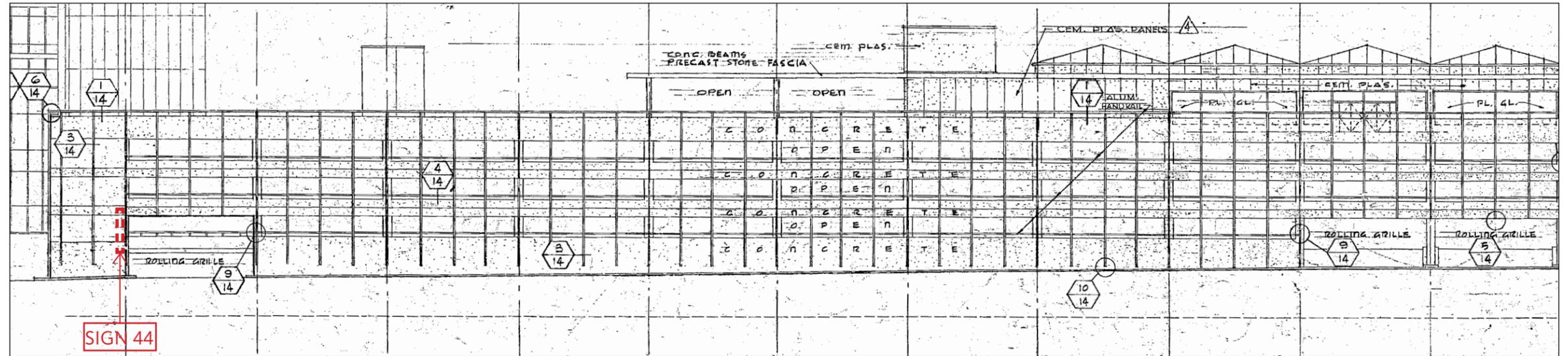
Partial Retail Mall East Elevation



Partial Retail Mall West Elevation



## 5.8 Garage North Elevation



## 6.0 Addendum

### 6.1 Dolomite Repair Specifications

300 LAKESIDE  
DOLOMITE PANELS PATCHING AND REPAIR

#### SECTION 04900

##### DOLOMITE PANELS PATCHING AND REPAIR

###### PART 1 - GENERAL

###### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

###### 1.2 SUMMARY

- A. General: Work of this section includes all labor, material, equipment and services necessary for the following work, as described on the drawings, as specified in these specifications, and as may be required by conditions and authorities.
- B. Work of this Section Includes (but Is Not Necessarily Limited to):
1. Patching of holes and spalls in dolomite panels.

###### 1.2 SUBMITTALS

- A. General: Submit the following according to the Conditions of the Contract and Division 1 Specification Sections.
- B. Product Data: Submit the following:
1. Materials list of items and description of work for all items under this section.
  2. Manufacturer's specifications, test reports and certifications, and other data needed to prove compliance with the specified requirements and mix designs of all materials.
  3. Manufacturer's recommended installation procedures that will become the basis for accepting or rejecting the actual procedures used for the work.
- C. Restoration Program: Submit written program for each phase of restoration process, including protection of surrounding materials and site during operations. Describe in detail materials, methods, and equipment to be used for each phase of restoration work.
- D. Samples: Submit to the Architect samples of the following:
1. Hand samples (+/- 6" x 6" x 1") of cured Dolomite panel samples of appropriate thickness for approval of color, finish, and texture.
  2. Color-match mortar. Following completion of analysis and preparation of proposed mortar formulations by the testing laboratory, the contractor shall submit for approval three (3) 3-inch x 3/4-inch x 3/4-inch samples of mortar proposed for all patching.
  3. Testing Laboratory shall have demonstrated background in testing and analysis of concrete.
- E. Field Mock-Ups and Test Panels: Before full-scale operation, provide a test panel for each of the following items. Specific locations of mock-ups and test panels to be directed by Owner's

300 LAKESIDE  
DOLOMITE PANELS PATCHING AND REPAIR

Representative or Architect. Field sample to be of sufficient size to demonstrate relevant methods, procedures, dwell times and quality of work expected in the finish product. Obtain Owner's Representative and Architect's acceptance of visual qualities before proceeding with the work. Repeat mock-ups and test panels as necessary, adjusting methods and procedures, until acceptance by Owner's Representative and Architect is achieved. Retain acceptable panels in undisturbed condition, suitably marked, during restoration as a standard for judging completed work. Allow samples to cure at least three days before requesting review of color, texture and detailing match.

1. Hole repair.
2. Spall repair.

###### 1.3 QUALITY ASSURANCE

- A. Restoration Specialist: Work of this Section shall be performed by a firm with not less than 5 years successful experience in comparable rehabilitation and restoration projects. Firm shall have expertise in all of the Work listed in the Summary of this Section. Firm shall employ personnel and supervisors skilled in the rehabilitation and restoration processes and operations indicated. Provide with bid the following:
1. List of 5 to 7 projects completed by Contractor that illustrate the firm's expertise in all of the Work of this Section.
  2. Describe how listed projects are similar to proposed Work and the Contractor's Work on each project.
  3. Include the name of client or their representative for each project and their telephone number.
- B. Qualifications of Project Manager or Foreman supervising Work, and Skilled Workmen: Project Manager or Job Foreman shall have a minimum of 5 years successful experience with Work outlined in the Summary of this Section. Skilled workmen each shall have a minimum of 5 years successful experience with Work outlined in the Summary of this section. Provide with bid the following:
1. List of 5 to 7 projects completed by Project Manager or Foreman that illustrate their expertise with Work of this Section and a list of 5 projects completed by each of the skilled workmen.
  2. Describe how listed projects are similar to proposed Work and the individual's Work on each project.
  3. Include the name of client or their representative and their telephone number.
- C. Pre-Construction Conference: The Owner's Representative, Architect, Contractor, Project Manager and Foreman responsible for the Work of this Section shall attend one pre-construction conference.
- D. Contractor, Project Manager or Foreman and skilled workmen selected and approved for Work of this Section shall complete all Work of this Section, unless otherwise approved by Owner.
1. Any requests for changes in management and skilled personnel shall be submitted to the Owner in writing with the required documentation outlined above.
  2. Owner's Representative shall review management and skilled personnel changes with reasonable promptness. Personnel changes shall not be made until Owner has approved the change.

## 6.0 Addendum

### 6.1 Dolomite Wall Panels Repair Specifications

300 LAKESIDE  
DOLOMITE PANELS PATCHING AND REPAIR

3.

#### 1.4 TESTING DOLOMITE PANEL ELEMENTS

- A. Contractor shall supply concrete analysis of existing dolomite panel. Include sample of original concrete aggregate and sand. New Dolomite panel repairs shall match color of cleaned original dolomite panel elements.
- B. Dolomite Panel Analysis: Analysis shall include the separation of mortar sands from binder for matching by Contractor.
- C. Samples shall be taken from damaged or areas of dolomite panel(s) to be repaired.

#### 1.5 SUBSTITUTIONS

- A. If alternative methods and materials to those indicated are proposed for any phase of restoration work, provide written description, including evidence of at least 10 years' successful use on comparable projects and program of testing to demonstrate effectiveness for use on this project. Provide documentation showing compliance with the requirements for substitutions and the following information:
  - 1. Coordination information, including a list of changes needed to other work that will be necessary to accommodate the substitution.
  - 2. A comparison of the substitution with the specified products and methods, including performance, weight, size, durability, and visual effect.
  - 3. Product data, including specifications for products and installation procedures.
  - 4. Samples, where applicable, or as requested.
  - 5. A statement indicating the effect on the Contractor's Construction Schedule compared to the schedule without approval of the substitution. Indicate the effect of the substitution on Contract completion time.
  - 6. Certification that any substitutions conform to the contract documents and are appropriate for the applications indicated. Material substitution requests must be accompanied by independent laboratory test reports from a lab designated by the Architect to establish equivalent performance levels and specification compliance. Testing shall be paid for by the submitting party.
  - 7. The Contractor's waiver of rights to additional payment or time that may become necessary because of the failure of the substitution to perform adequately.

#### 1.6 REGULATORY REQUIREMENTS

- A. Comply with all local, state and federal requirements regarding the use of masonry materials that contain chemicals considered hazardous by the authorities having jurisdiction.

#### 1.7 DELIVERY, STORAGE AND PRODUCT HANDLING

- A. Deliver all manufactured products to the job site in their original, unopened containers and packaging with all labels intact and legible at the time of use.

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- B. Deliver and store material in manufacturer's original, unopened containers with the grade, batch and production data shown on the container or packaging.
- C. Protection. Contractor shall use all means necessary to protect the installed work and materials of all other trades during storage and construction. Work and materials shall be protected from all of the following (but not necessarily limited to):
  - 1. Wetting by rain or ground water
  - 2. Staining or intermixture with earth or other types of materials.
- D. Protect mortar and other materials from deterioration by moisture and temperature. Store in a dry location or in waterproof containers. Keep containers tightly closed and away from open flames. Comply with manufacturer's recommendations for minimum and maximum temperature requirements for storage.
- E. Comply with the manufacturer's written specifications and recommendations for mixing, application, and curing of grouts and patching materials.
- F. Replacements. In the event of damage, Contractor shall immediately make all repairs and replacements necessary, at no cost to the Client.

#### 1.8 PROJECT AND SITE CONDITIONS

- A. Protect persons, plants, motor vehicles, windows, building site, and surrounding buildings from injury and damage resulting from masonry repair work.
- B. No work of this section shall be performed unless air and surface temperatures are between 50 degrees Fahrenheit (10 deg. C) and 90 degrees Fahrenheit (32 deg. C) and will remain so for at least 48 hours after completion of work.
- C. Work shall be protected during hot weather from premature or rapid curing by the use of dampened fabric coverings.
- D. Prevent masonry patching materials from staining the face of masonry or other surfaces to be left exposed. Immediately remove all patching materials that come in contact with such surfaces.
- E. Cover partially completed work when work is not in progress.
- F. Protect sills, ledges and projections from droppings.

### PART 2 - PRODUCTS

#### 2.1 DOLOMITE PANEL SPALL AND HOLE REPAIR MATERIALS

- A. Cement:

## 6.0 Addendum

### 6.1 Dolomite Wall Panels Repair Specifications

300 LAKESIDE  
DOLOMITE PANELS PATCHING AND REPAIR

1. Cement shall comply with ASTM C150, Type I, white or gray Portland cement. Sands shall match original sands as determined in the concrete analysis. Blend cements to match color of original cement.
  2. Plastic cement of any type shall not be used.
- A. Sand: Comply with ASTM C144 and ASTM C33 as required for clean, dry aggregate, well graded from coarse to fine. Sand shall match original sand as determined in the mortar and Dolomite panel analysis.
- B. Aggregate: Dolomite aggregate sized to match original aggregate. Angularity shall match existing aggregate. One source of material is Broadmoor Landscape Supply, South San Francisco, CA.
- C. Lime: ASTM C206: "Standard Specification for Finishing Hydrated Lime" and ASTM C207 "Standard Specification for Hydrated Lime for Masonry Purposes, as required; Type S; autoclaved; USG "Ivory" or approved equal.
- D. Water: Clean and free from deleterious amounts of acid, alkali and organic materials.
- E. Bonding Agent for Coating Hole or Spall Surface Before Installation of Patching Material: ACRYL-60 as manufactured by Thoro Systems Products. Check compatibility of ACRYL-60 with actual cement used.
- F. Composition of Patching Material for hole and crack repair.
1. Mortar:
    - a. Match ratios of existing original cement, lime, and sand as listed in mortar analysis report.
  2. Note: Final composition will be approved by Architect after completion of test mixes.

#### 2.2.1 ANCHORAGE

- A. Install anchorage at dolomite panel elements as required if patches are of sufficient size to require anchorage. Coordinate installation of anchorage with all other work in this section. All anchors, dowels, and other anchoring devices and shims shall be stainless steel, Type 304 building stone anchors, size as required.

### PART 3 – EXECUTION

#### 3.1 SPALL REPAIR AND HOLE REPAIR

- A. Spalled and holes shall be patched as follows:
1. Cut away all loose and crumbling material using a tooth chisel leaving a rough surface.
  2. Undercut the edges of repair areas to a slight dovetail.
  3. For patches less than one-inch in depth drill 1/2-inch diameter holes 1/2 inch deep, at various angles, spaced 2 to 3 inches apart in staggered rows.
  4. For patches greater than one-inch depth and with an area greater than 24 square inches, install stainless steel anchors and wires set in stone with epoxy adhesive. Provide a minimum of 2 anchors per patch.
  5. Maintain cover over pins of at least three quarter-inch (3/4").

300 LAKESIDE  
DOLOMITE PANELS PATCHING AND REPAIR

6. Wash area thoroughly with water and bristle brushes to remove all dust and stone fragments. Dampen surface. A bonding agent may be applied.
7. For patches not reinforced with steel pins, work mortar into alternate approach angle holes.
8. Apply patching mortar into void.
9. Finish repaired surface to match adjacent stone. Install dolomite aggregate to match adjacent surfaces.
10. Keep repair damp for 48 to 72 hours.
11. Patches shall be firmly affixed to mother stone with no shrinkage cracks or other defects.
12. than 14 days before beginning final cleaning.

#### 3.7 CLEAN-UP

- A. Upon completion of dolomite panel repair procedures, remove all tools, equipment and unnecessary materials from the site. Return adjacent areas to the clean condition that existed prior to the start of work.

#### 3.8 CLOSE OUT

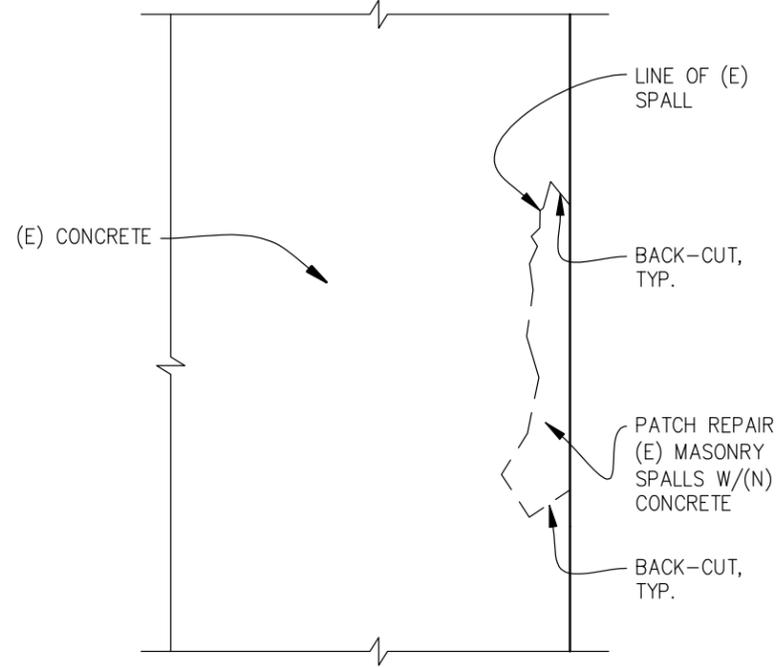
- A. Provide Owner with the following at the completion of the project:
1. Formulation of patching material used and outline of procedures.

END OF SECTION

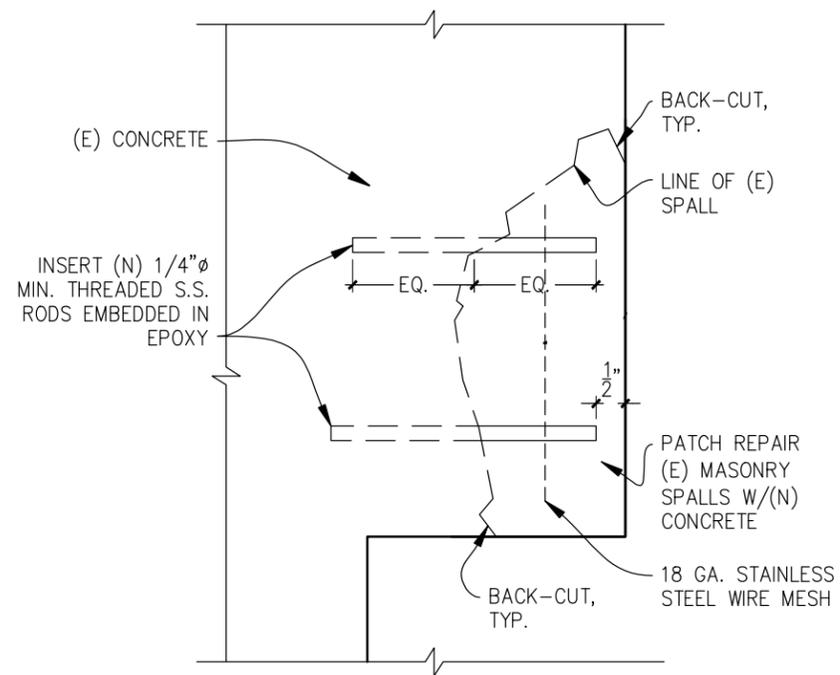
**6.0 Addendum**

**6.2 Wall Surface Spall Repair Details**

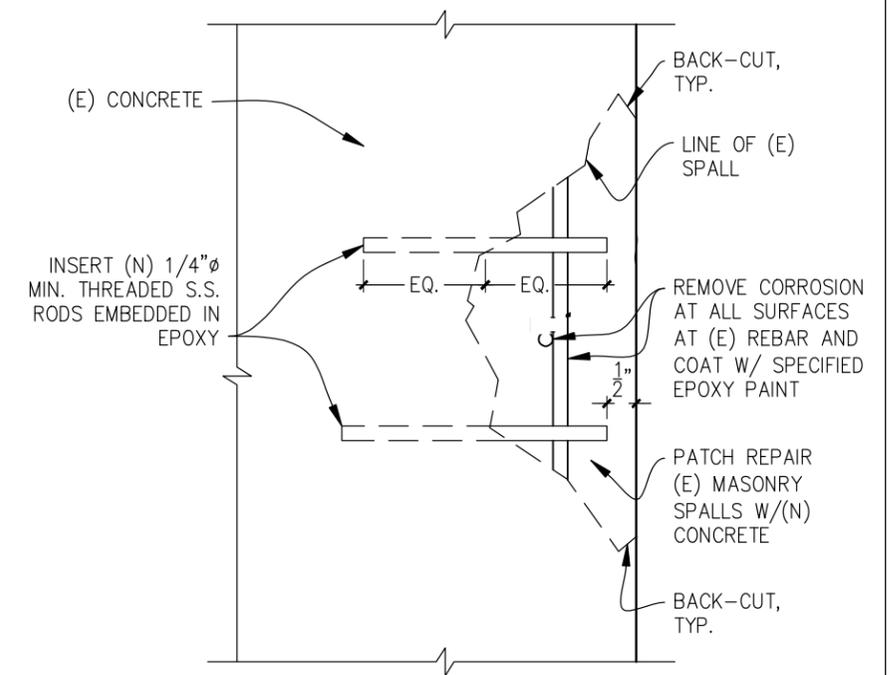
Match existing dolomite aggregate in color, size, and shape as closely as possible



**3** TYPICAL SURFACE SPALL REPAIR  
A6 SCALE: NTS



**2** TYPICAL CORNER REINFORCEMENT PATCH REPAIR  
A6 SCALE: NTS



**1** TYPICAL REINFORCEMENT PATCH REPAIR  
A6 SCALE: NTS

6.0 Addendum  
6.3 Existing Signage Photo Audit



Sign Location 1



Sign Location 2



Sign Location 3



Sign Location 4



Sign Location 5



Sign Location 6

6.0 Addendum  
6.3 Existing Signage Photo Audit



Sign Location 7-8



Sign Location 9



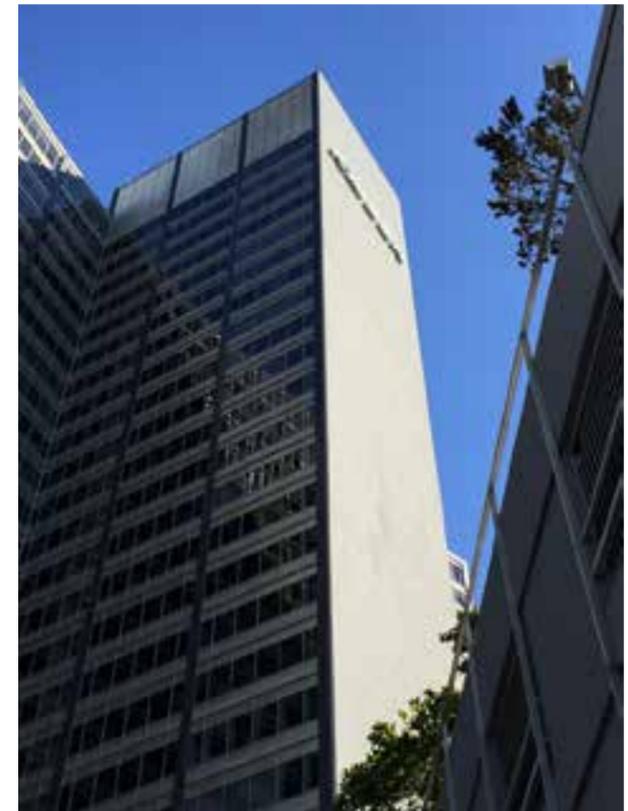
Sign Location 10



Sign Location 11



Sign Location 12



Sign Location 13

6.0 Addendum  
6.3 Existing Signage Photo Audit



Sign Location 14



Sign Location 15



Sign Location 16



Sign Location 17



Sign Location 18



Sign Location 19

6.0 Addendum  
6.3 Existing Signage Photo Audit



Sign Location 21



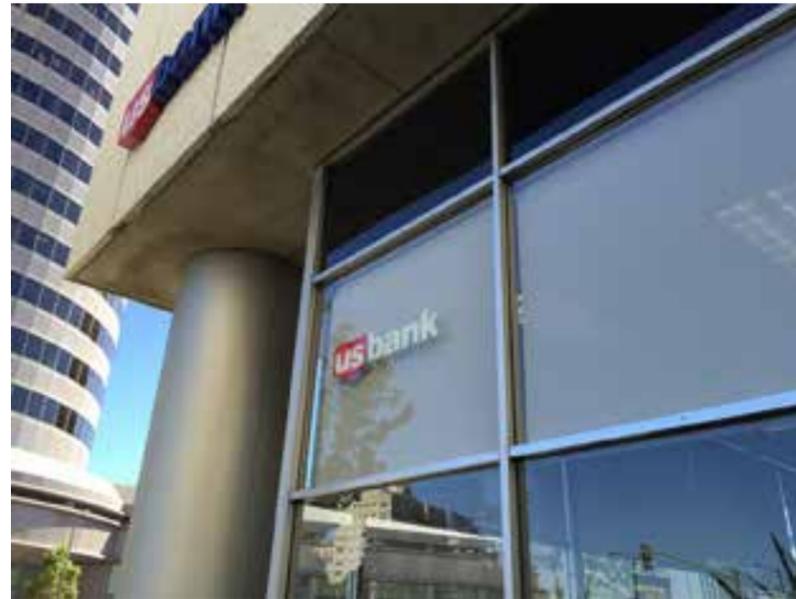
Sign Location 22



Sign Location 23



Sign Location 24



Sign Location 25



Sign Location 26

6.0 Addendum  
6.3 Existing Signage Photo Audit



Sign Location 28-30



Sign Location 31



Sign Location 32



Sign Location 33



Sign Location 34



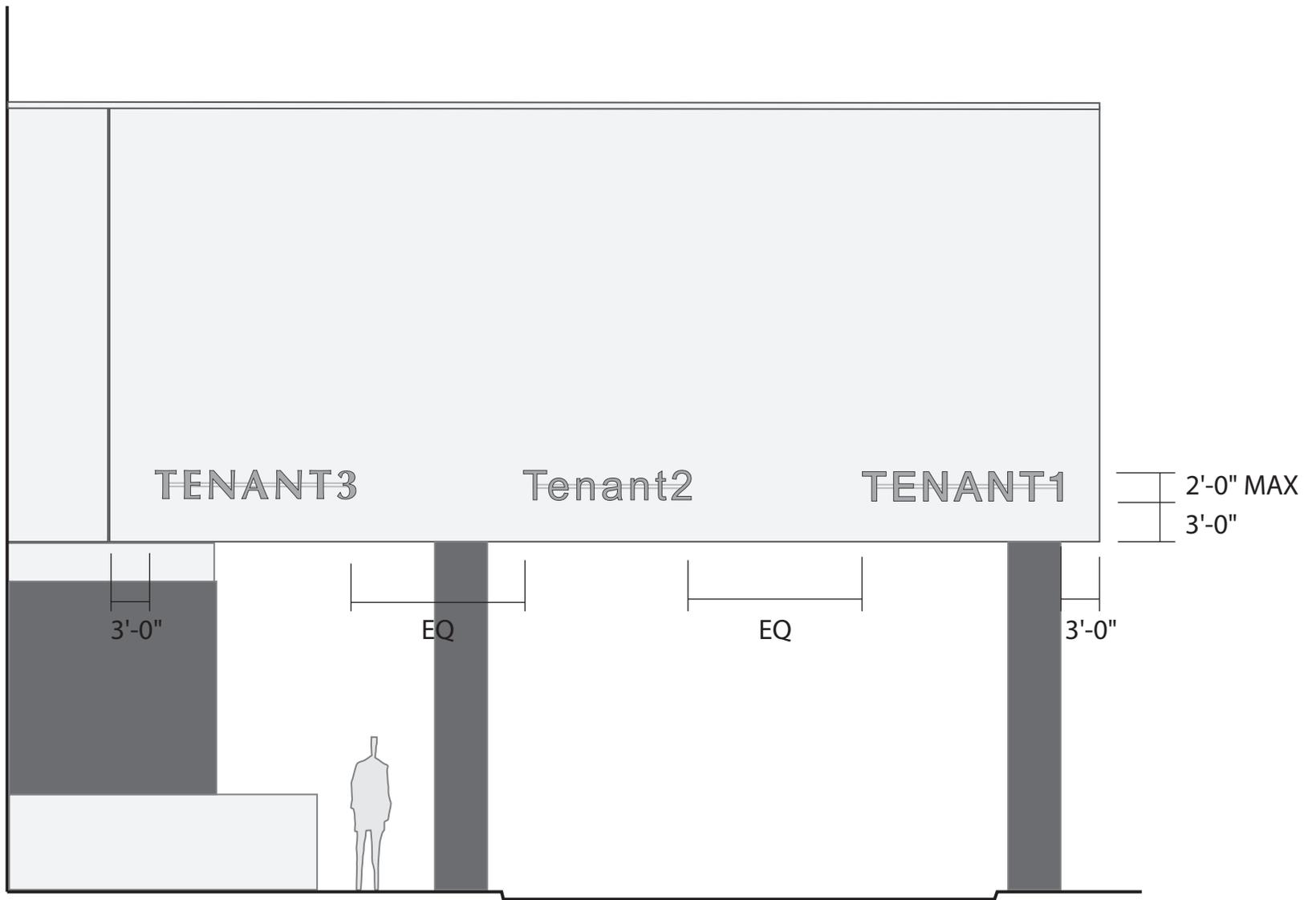
Sign Location 44

**6.0 Addendum**

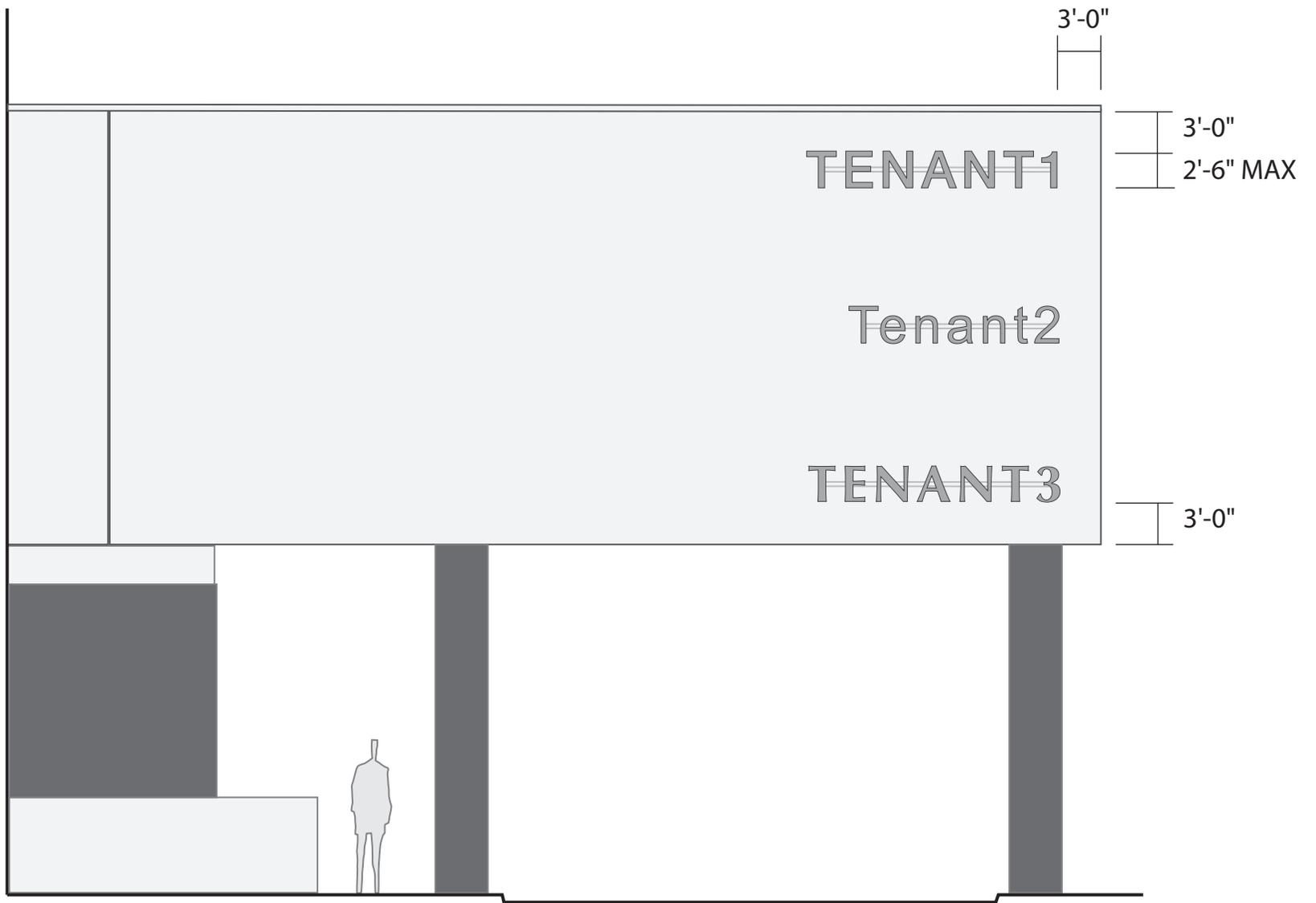
**6.3 Existing Signage Photo Audit**



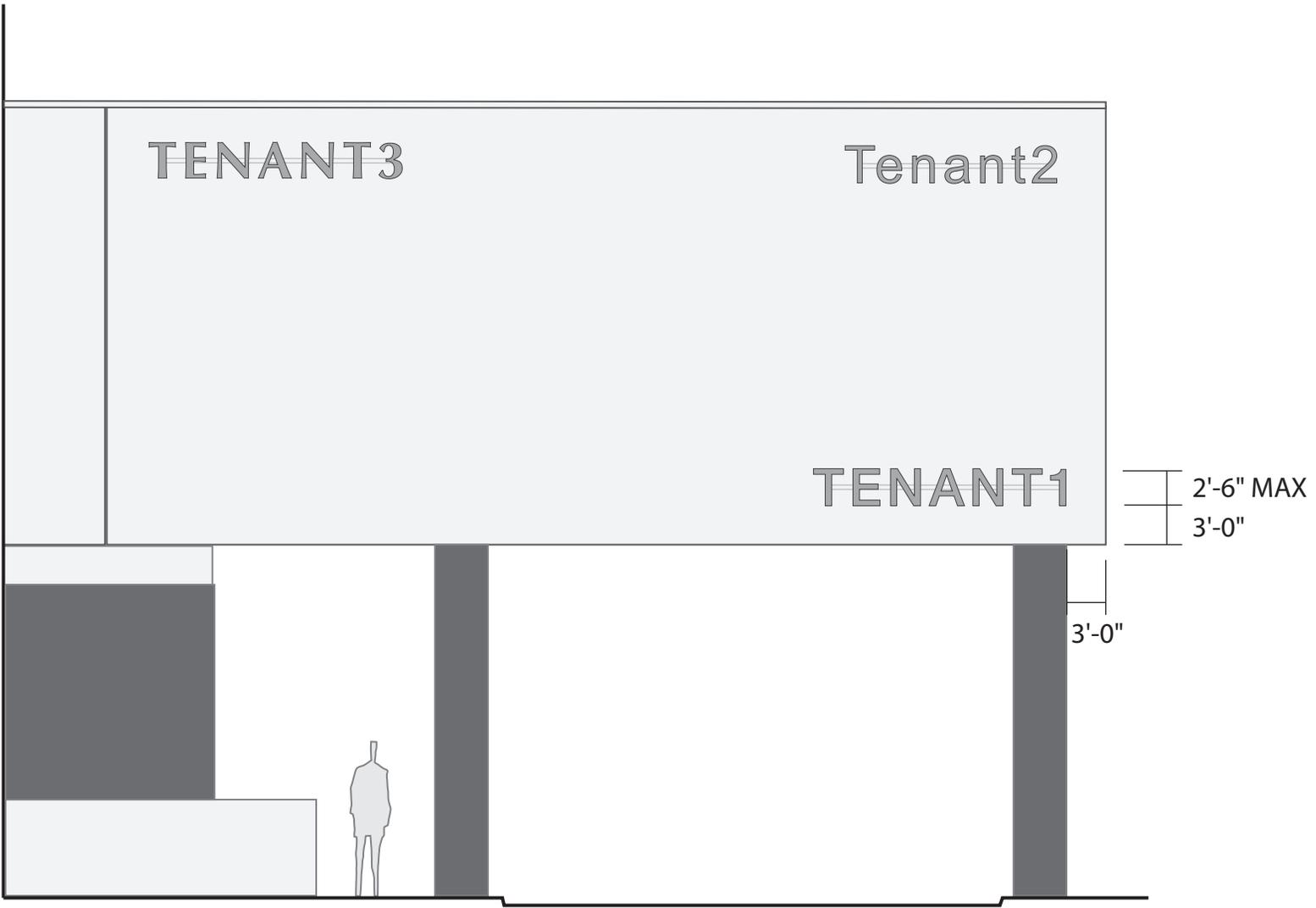
**Sign Location 45**



OPTION 1 - INLINE NAMES (2' MAX)



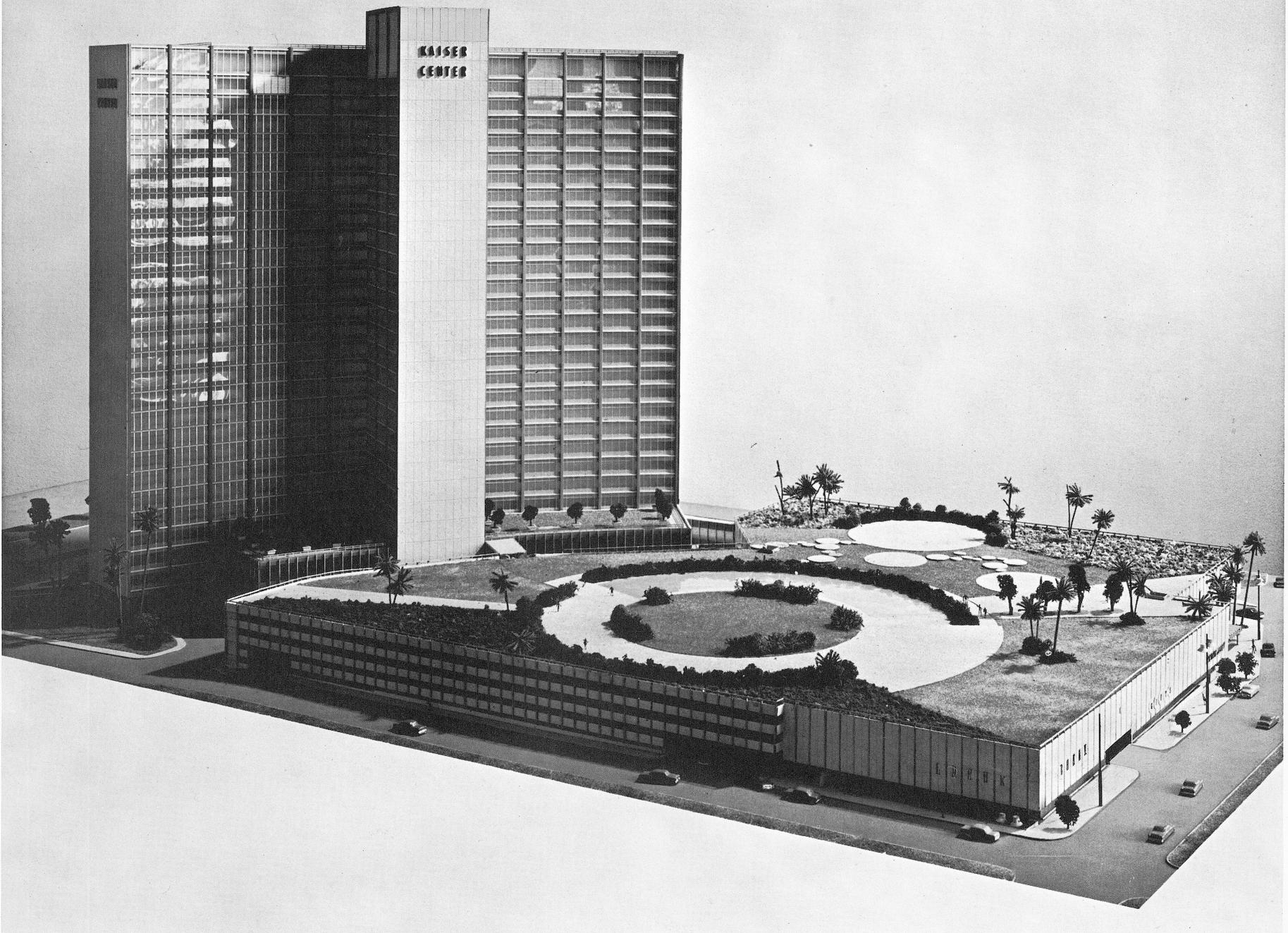
OPTION 2 - STACKED NAMES (2'-6" MAX)



OPTION 3 - CORNER NAMES (2'-6" MAX)







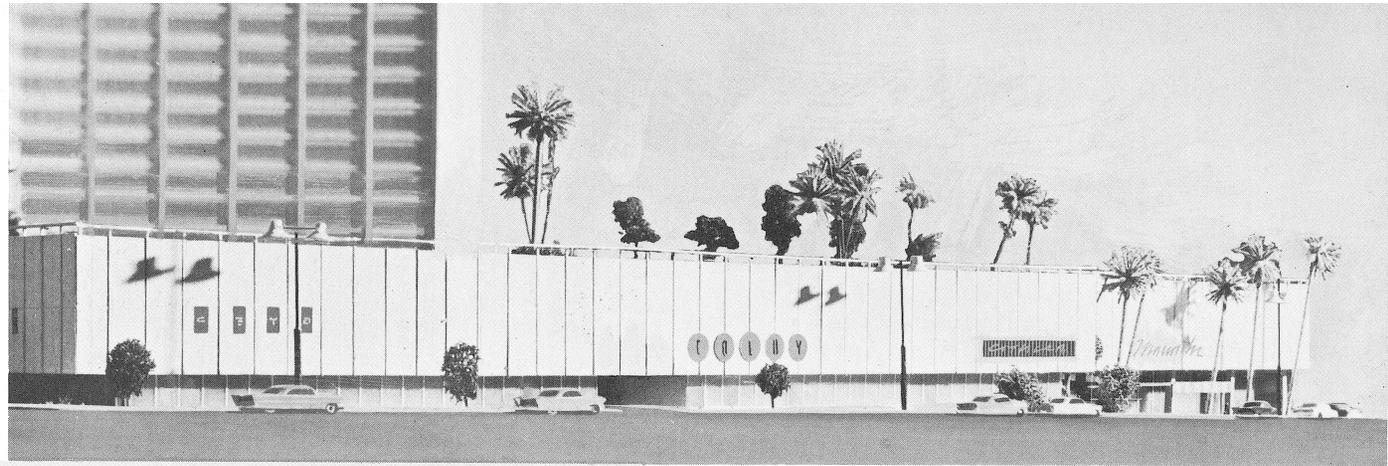


KAISER  
CENTER

Sincerity

CONVERSE

Webster Street Shops



ELEGANT

20th and Webster Streets Intersection

