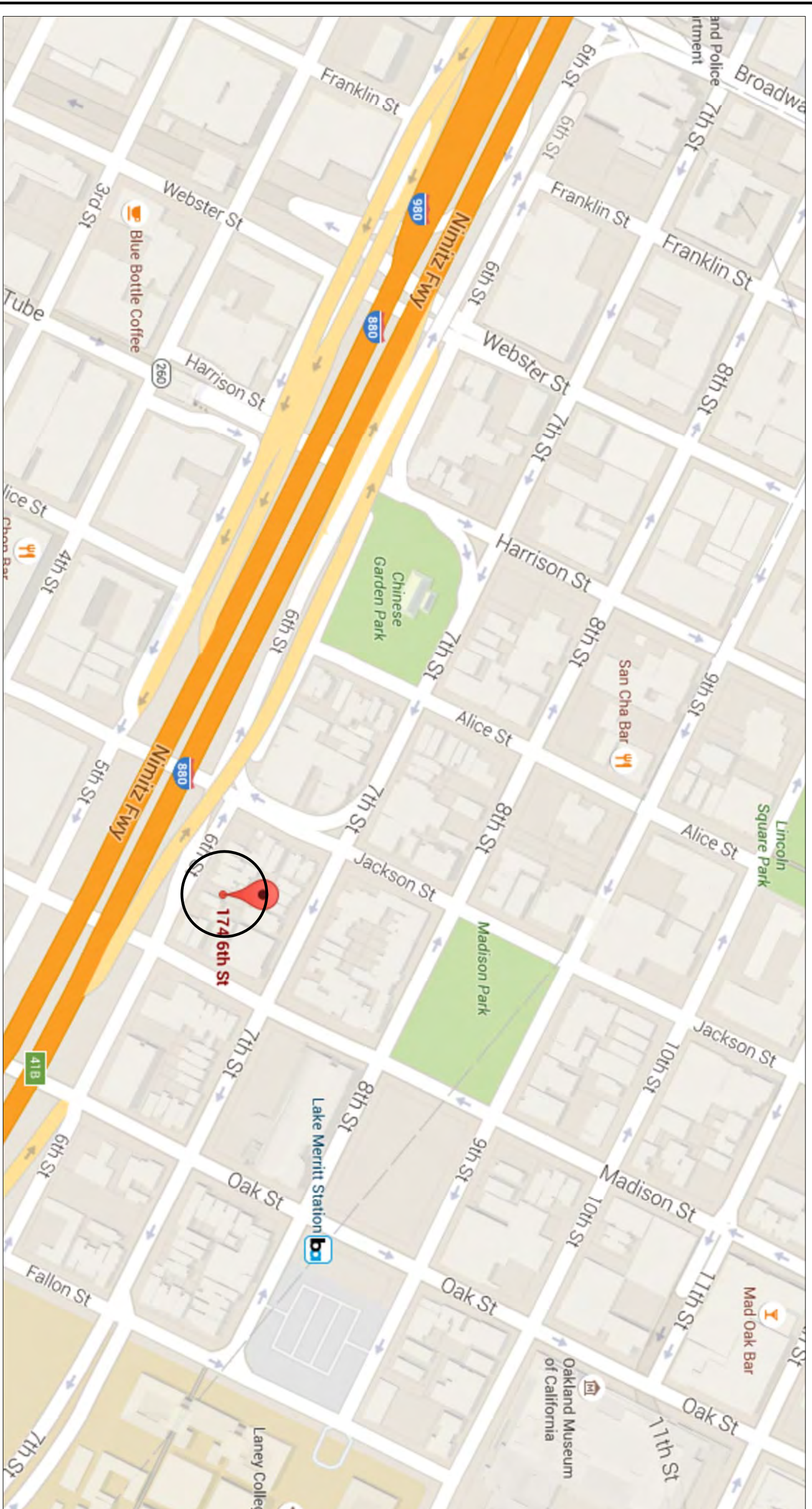


ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	DET.	DETAIL	H.C.	HANDICAP	P.6	PAINT GRADE	THK.	THICK
ACC'DG.	ACCESSING	DIA.	DIAMETER	HDR.	HEADER	P.7	PLASTER	THICK	THICK
ACCG.	ACCURACY	DM.	DIAMETER	HDR.	HEADER	P.8	PLASTER	THICK	THICK
ADL.	ADJUSTABLE OR ADJACENT	DWG.	DRAWING	HDR.	HEADER	P.9	PLASTER	THICK	THICK
A.F.F.	ABOVE FLOOR FINISH	E.L.C.	ELECTRIC OR ELECTRICAL	INS.	INSULATION	P.10	PAINTED	UNLESS OTHERWISE NOTED	
A.L.M.	ALUMINUM	E.L.V.	ELEVATOR	J.T.	JOINT	P.11	PARTITION		
A.M.C.	ASBESTOS	E.N.C.	ENCLOSURE	L.M.	LAMINATE	P.12	RADIUS		
A.S.S.	ASSEMBLY	E.O.	EXISTING	L.O.	LINE OF	P.13	REINFORCED		
B.D.	BUILDING	E.S.	EXISTING	L.T.	LIGHT FIXTURE	P.14	REINFORCED		
B.L.S.	BUILDING	E.X.T.	EXTENSION	M.A.T.	MATERIAL	P.15	REINFORCED		
B.P.	BUILDING PAPER	F.A.	FIRE ALARM PULL STATION	M.E.C.	MECHANICAL	P.16	ROOM		
B.U.	BUILT UP	F.F.	FIRE EXTINGUISHER	M.E.C.	MECHANICAL	P.17	ROOM		
C.A.B.	CABINET	F.F.D.	FIRE EXTINGUISHER	M.E.T.	METAL	P.18	ROOM		
C.B.	CERAMIC	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.19	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.20	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.21	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.22	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.23	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.24	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.25	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.26	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.27	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.28	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.29	ROOM		
C.C.	CERAMIC TILE	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	P.30	ROOM		

VICINITY MAP



PROJECT INFORMATION AND CODE REQUIREMENTS

PROJECT ADDRESS:	174 6TH STREET OAKLAND CALIFORNIA 94607
ASSESSORS PARCEL NUMBER:	33-367-49
ZONING FOR PROJECT:	DUAL-LAKE RESIDENTIAL STATION AREA DISTRICT
HEIGHT/BULK INTENSITY REGULATION:	45'-0"
EXISTING LOT AREA FOR PROJECT:	2500 SQ. FT. (NO CHANGE)
HEIGHT (MAX. ALLOWED):	45'-0"
SETBACK:	REQUIRED SETBACK
MAXIMUM FRONT SETBACK (SOUTH):	10'-0" MAXIMUM
REAR SETBACK (WEST):	0'-0"
REAR SETBACK (EAST):	0'-0"
REAR SETBACK (NORTH):	0'-0"
REAR SETBACK (SOUTH):	0'-0"
REAR SETBACK (EAST):	4'-4"

PHOTOS OF EXISTING PROPERTY / HOUSE



LEFT OF PROPERTY (LOOKING NORTH WEST FROM 6TH STREET)

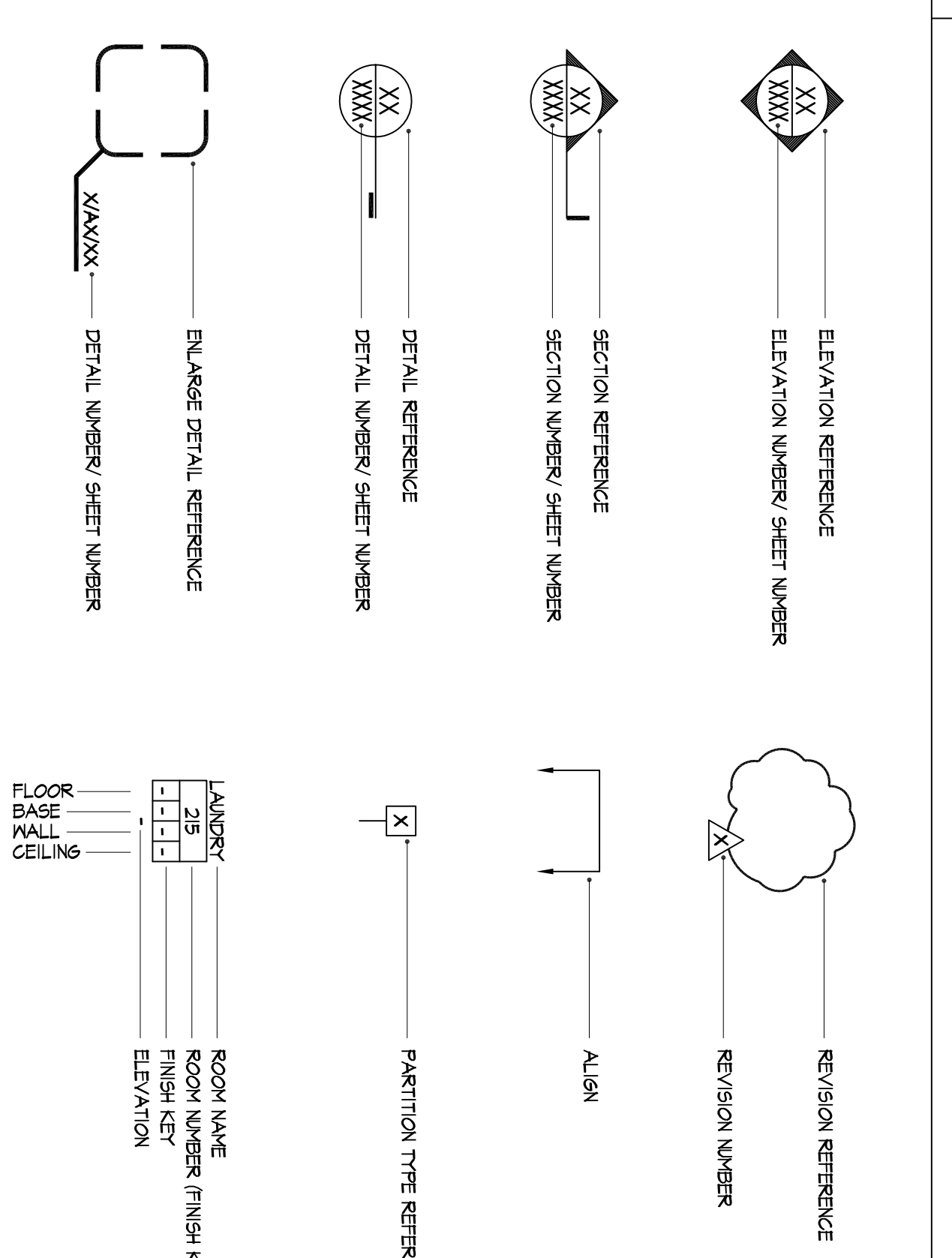


FRONT OF PROPERTY (LOOKING FROM 6TH STREET)



RIGHT OF PROPERTY (LOOKING SOUTH EAST FROM 6TH STREET)

SYMBOL LEGEND



SHEET INDEX

ARCHITECTURAL SHEETS (7 SHEETS ISSUED)	LANDSCAPE SHEETS (1 SHEET ISSUED)
A01 PROJECT INFORMATION	L01 LANDSCAPE PLAN
A02 EXISTING AND PROPOSED SITE PLAN	
A03 PROPOSED FIRST AND SECOND LEVEL FLOOR PLAN	
A04 PROPOSED SOUTH AND WEST ELEVATIONS	
A05 PROPOSED NORTH AND EAST ELEVATIONS	
A06 PROPOSED SOUTH AND WEST ELEVATIONS	
A07 PROPOSED NORTH AND EAST ELEVATIONS	
A08 PROPOSED SOUTH AND WEST ELEVATIONS	
A09 PROPOSED NORTH AND EAST ELEVATIONS	
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A98 PROPOSED SOUTH AND WEST ELEVATIONS	
A99 PROPOSED NORTH AND EAST ELEVATIONS	
A100 PROPOSED SOUTH AND WEST ELEVATIONS	

PROJECT DIRECTORY

CLIENT:	JACK BACKUS ARCHITECTS 1057 HUBERT ROAD OAKLAND, CA 94610 V: 510.939.9699 F: 510.939.9699 WWW.JACKBACKUSARCHITECTS.COM CONTACT: JACK BACKUS
ARCHITECT:	JACK BACKUS ARCHITECTS 1057 HUBERT ROAD OAKLAND, CA 94610 V: 510.939.9699 F: 510.939.9699 WWW.JACKBACKUSARCHITECTS.COM CONTACT: JACK BACKUS

SCOPE OF WORK

CONSTRUCTION OF NEW THREE UNIT BUILDING WITH TWO GARAGES AND TRASH ROOM (SEE SHEET A01) AND ONE BEDROOM UNIT

DESIGN REGULATIONS

DESIGN REGULATIONS	REQUIRED	PROPOSED
GROUND FLOOR COVERAGE FACTOR TRANSPARENT	5%	NOT APPLICABLE
MINIMUM HEIGHT OF THE GROUND FLOOR	5'-0"	4'-1/2"
MINIMUM WIDTH OF STAIRWAY	5'-0"	NOT APPLICABLE
MINIMUM SEPARATION BETWEEN THE GARAGE AND GROUND FLOOR LIVING SPACE	2'-5"	NOT APPLICABLE
HEIGHT/BULK INTENSITY AREA	ALLOWED	PROPOSED
MAXIMUM HEIGHT	45'-0"	34'-0" (1/8" HIGHER POINT)
MAXIMUM RESIDENTIAL DENSITY	450 SQ.FT. PER UNIT 2500/560 = 5.8 UNITS	9 UNITS
REQUIRED AMOUNTS OF USABLE OPEN SPACE	75 SQ.FT. PER UNIT	UNIT A: 232 SQ.FT. (GARAGE CONTAINED) UNIT B: 449 SQ.FT. (PRIVATE) UNIT C: 449 SQ.FT. (PRIVATE)

PHOTOS OF EXISTING PROPERTY / HOUSE



LEFT OF PROPERTY (LOOKING NORTH WEST FROM 6TH STREET)



FRONT OF PROPERTY (LOOKING FROM 6TH STREET)



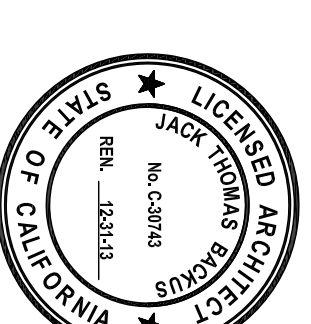
RIGHT OF PROPERTY (LOOKING SOUTH EAST FROM 6TH STREET)

174 6th STREET

174 6th STREET
OAKLAND, CA 94607

JACK BACKUS
ARCHITECTS

1057 Hubert Road
Oakland, CA 94610
PH: 510.939.9699



NO.	DATE	DESCRIPTION
1.	04/04/2016	DESIGN REVIEW
2.	06/10/2016	DESIGN REVIEW REVISIONS 1
3.	07/26/2016	DESIGN REVIEW REVISIONS 2
4.	09/21/2016	DESIGN REVIEW REVISIONS 3

SHEET TITLE
PROJECT INFORMATION

SCALE

SHEET NUMBER

A0.1