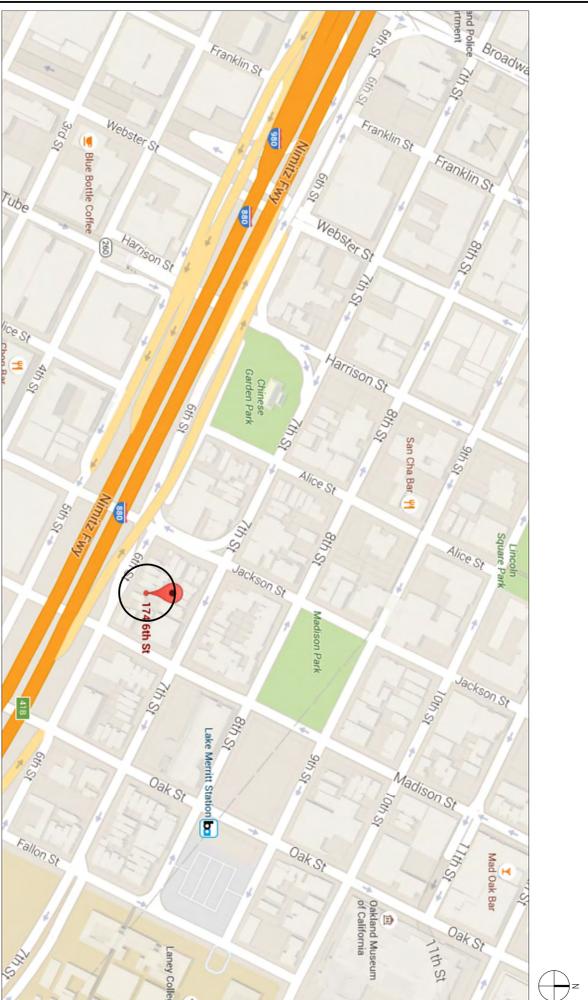


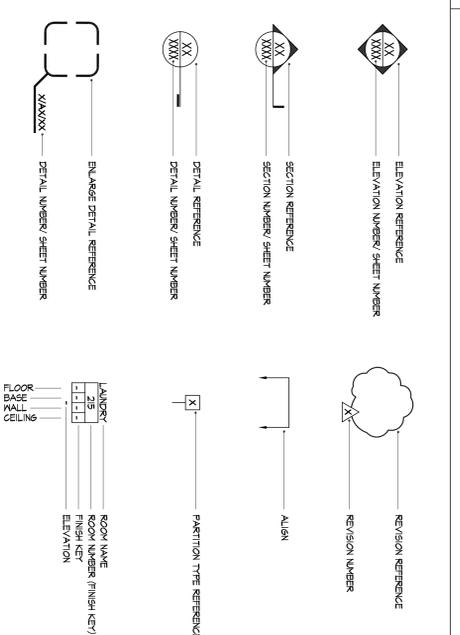
ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	DET.	DETAIL	H.C.	HANDICAP	P.6	PAINT GRADE	THK.	THICK
ACC'DG.	ACCESSING	DIR.	DIRKING FOUNTAIN	H.R.	HEADER	P.6	PLASTIC GRADE	THK.	THICK
ACCG.	ACCURACY	DIA.	DIAKING	H.W.	HANDWORK	P.L.M.	PLASTIC LAMINATE	T.O.C.	TOP OF CONCRETE
ADL.	ADJUSTABLE OR ADJACENT	DIM.	DIMENSION	H.W.D.	HANDWOOD	P.L.V.	PLASTIC VENEER	T.O.C.	TOP OF CONCRETE
ADJ.	ADJUSTABLE OR ADJACENT	DIV.	DIVISION	H.X.	HOLLOW	P.L.W.	PLASTIC WOOD	T.O.P.	TOP OF SLAB
A.F.F.	ABOVE FLOOR FINISH	DNG.	DRAINAGE	H.M.	HOT WATER	P.L.	PAVEMENT	T.O.P.	TOP OF PLATE
A.L.M.	ALUMINA	E.L.C.	ELECTRIC OR ELECTRICAL	INS.	INSULATION	P.T.	PAINTED	T.P.	TYPE PLATE
A.M.C.	ALUMINUM ANODIZED	ELEV.	ELEVATOR	J.T.	JOINT	P.N.	PARTITION	U.N.	UNLESS OTHERWISE NOTED
A.S.S.	ASBESTOS	ENCL.	ENCLOSURE	L.M.	LAMINATE	R.	RADIUS	V.F.	VERIFY IN FIELD
B.D.	BOARD	EQ.	EQUAL	L.O.	LINE OF	R.D.	ROOF DRAIN	V.F.	VERIFY IN FIELD
B.L.S.	BUILDING	EXT.	EXTENSION	LT. FIN.	LIGHT FINISH	R.F.	REINFORCED	W.O.	WOOD
B.P.	BUILDING PAPER	EXT.	EXTENSION	MAT.	MATERIAL	R.S.	REINFORCED		
B.U.	BUILT UP	F.A.	FIRE ALARM PULL STATION	M.E.C.	MECHANICAL	R.M.	ROOM		
C.A.B.	CABINET	F.E.D.	FIRE EXTINGUISHER	M.E.T.	METAL	S.C.E.D.	SCHEDULE		
C.B.	CERAMIC	F.F.	FLOOR FINISH	M.F.P.	METAL PANEL	S.E.D.	SEE ELECTRICAL DRAWINGS		
C.C.	CONCRETE	F.L.	FLOOR	M.H.	MINIMUM	S.M.D.	SEE MECHANICAL DRAWINGS		
C.C.	CONCRETE	F.M.	FIRE MOUNT	M.T.	MOUNTED	S.P.D.	SEE PLUMBING DRAWINGS		
C.C.	CONCRETE	F.N.	FIRE NOTIFICATION	M.T.L.	METAL	S.S.T.	SEE STAINLESS STEEL		
C.C.	CONCRETE	F.P.	FIRE PROTECTIVE	N.A.	NOT APPLICABLE	S.S.	SEE STAINLESS STEEL		
C.C.	CONCRETE	F.R.	FIRE RESISTANT	N.C.	NOT IN CONTACT	S.K.	SEE SCHEDULE		
C.C.	CONCRETE	F.S.	FIRE STOPPING	N.I.S.	NOT IN SCALE	S.L.	SEE SCHEDULE		
C.C.	CONCRETE	F.T.	FIRE TIGHT	N.	NOT	S.T.L.	SEE SCHEDULE		
C.C.	CONCRETE	F.V.	FIRE VENT	N.B.	NOT	S.T.R.	SEE SCHEDULE		
C.C.	CONCRETE	G.A.L.V.	GALVANIZED	O.C.	OVERLAP	T.E.	TEMPERED OR TEMPOKARY		
C.C.	CONCRETE	G.S.M.	GALVANIZED SHEET METAL	O.D.	OUTER DRAIN	T.M.E. AND G.R.O.U.E.	TONGUE AND GROOVE		
C.C.	CONCRETE	G.S.M.	GALVANIZED SHEET METAL	O.F.	OVER FINISH				
C.C.	CONCRETE	G.S.M.	GALVANIZED SHEET METAL	O.P.	OVER PARTITION				
C.C.	CONCRETE	G.S.M.	GALVANIZED SHEET METAL	O.P.	OVER PARTITION				
C.C.	CONCRETE	G.S.M.	GALVANIZED SHEET METAL	O.P.	OVER PARTITION				

VICINITY MAP



SYMBOL LEGEND



SHEET INDEX

ARCHITECTURAL SHEETS (7 SHEETS ISSUED)	LANDSCAPE SHEETS (1 SHEET ISSUED)
A01 PROJECT INFORMATION	L01 LANDSCAPE PLAN
A02 EXISTING AND PROPOSED SITE PLAN	
A03 PROPOSED FIRST AND SECOND LEVEL FLOOR PLAN	
A04 PROPOSED SOUTH AND WEST ELEVATIONS	
A05 PROPOSED NORTH AND EAST ELEVATIONS	
A06 PROPOSED NORTH AND SOUTH ELEVATIONS	
A07 PROPOSED NORTH AND WEST ELEVATIONS	
A08 PROPOSED SOUTH AND EAST ELEVATIONS	
A09 PROPOSED SOUTH AND WEST ELEVATIONS	

PROJECT DIRECTORY

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 E: JACK@JACKBACKUSARCHITECTS.COM
 CONTACT: JACK BACKUS

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SCOPE OF WORK

CONSTRUCTION OF NEW THREE UNIT BUILDING WITH TWO GARAGES AND TRASH ROOM (SEE SHEET A02) FOR THREE RESIDENT UNITS AND TWO GARAGE UNITS

PROJECT INFORMATION AND CODE REQUIREMENTS

PROJECT ADDRESS: 714 6TH STREET OAKLAND CALIFORNIA 94607	DESIGN REGULATIONS	REQUIRED	PROPOSED
ADDITIONS PARCEL NUMBER: 33-367-49	GROUND FLOOR COMERCIAL PLACAGE TRANSPARENT: 5%		
ZONING FOR PROJECT: DUPLICATE RESIDENT STATION AREA DISTRICT UNITS 3	MINIMUM HEIGHT OF THE GROUND FLOOR: 5'-0"		
HEIGHT/BULK INTENSITY REGULATION: LH45	MINIMUM WIDTH OF STORMENT: 5'-0"		
EXISTING LOT AREA FOR PROJECT: 2500 SQ. FT. (NO CHANGE)	MINIMUM SEPARATION BETWEEN THE GARAGE AND GROUND FLOOR LIVING SPACE: 2'-5"		
HEIGHT (MAX. ALLOWED): 45'-0"	HEIGHT/BULK INTENSITY AREA: ALLOWED		
SETBACK:	HEIGHT/BULK INTENSITY AREA: ALLOWED		
MAXIMUM FRONT SETBACK (SOUTH): 0'-0"	MAXIMUM HEIGHT: 45'-0"		
REAR SETBACK (WEST): 0'-0"	MAXIMUM RESIDENTIAL DENSITY: 450 SQ.FT. PER UNIT 2500/560 = 5.8 UNITS		
REAR SETBACK (NORTH): 0'-0"	REQUIRED AMOUNTS OF USABLE OPEN SPACE: 75 SQ.FT. PER UNIT		
SIDE SETBACK (EAST): 4'-4"	HEIGHT/BULK INTENSITY AREA: ALLOWED		
	HEIGHT/BULK INTENSITY AREA: ALLOWED		
	UNIT A: 332 SQ.FT. (GARAGE CONTAINMENT)		
	UNIT B: 445 SQ.FT. (PRIVATE)		
	UNIT C: 445 SQ.FT. (PRIVATE)		

PHOTOS OF EXISTING PROPERTY / HOUSE



174 6th STREET

174 6th STREET
 OAKLAND, CA 94607

JACK BACKUS
 ARCHITECTS

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 Oakland, CA 94610
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ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	04/04/2016	DESIGN REVIEW
2.	06/10/2016	DESIGN REVIEW REVISIONS 1
3.	07/26/2016	DESIGN REVIEW REVISIONS 2
4.	09/21/2016	DESIGN REVIEW REVISIONS 3

SHEET TITLE
 PROJECT INFORMATION

SCALE

SHEET NUMBER

A0.1

174 6th STREET

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ISSUES AND REVISIONS

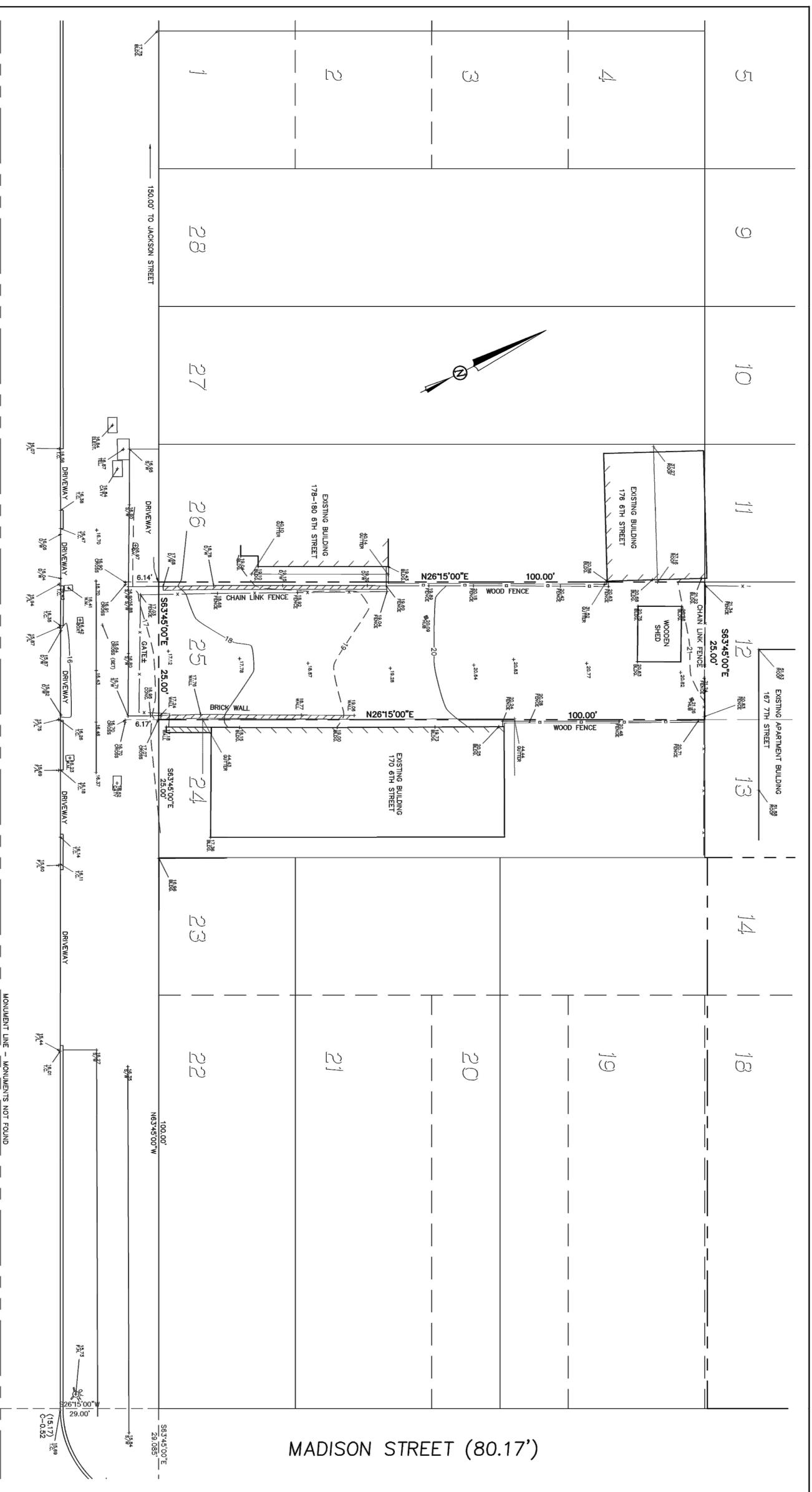
BOUNDARY AND TOPOGRAPHIC
SURVEY



SHEET NUMBER

A0.2

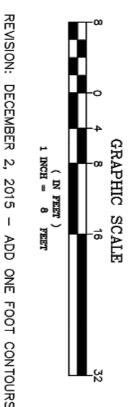
12/22/2015 4:38:55 PM



BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 25, BLOCK 61,
KELLERBERGER'S MAP OF OAKLAND (7 M 3)
LOCATED AT 174 6TH STREET
CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA
NOVEMBER 19, 2015

SCALE: 1" = 8'



REVISION: DECEMBER 2, 2015 - ADD ONE FOOT CONTOURS

F.B. NO. 1572

JOB NO. 15-9285

MORAN ENGINEERING, INC.

CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930

SIXTH STREET LOT 25.DWG

174 6th STREET

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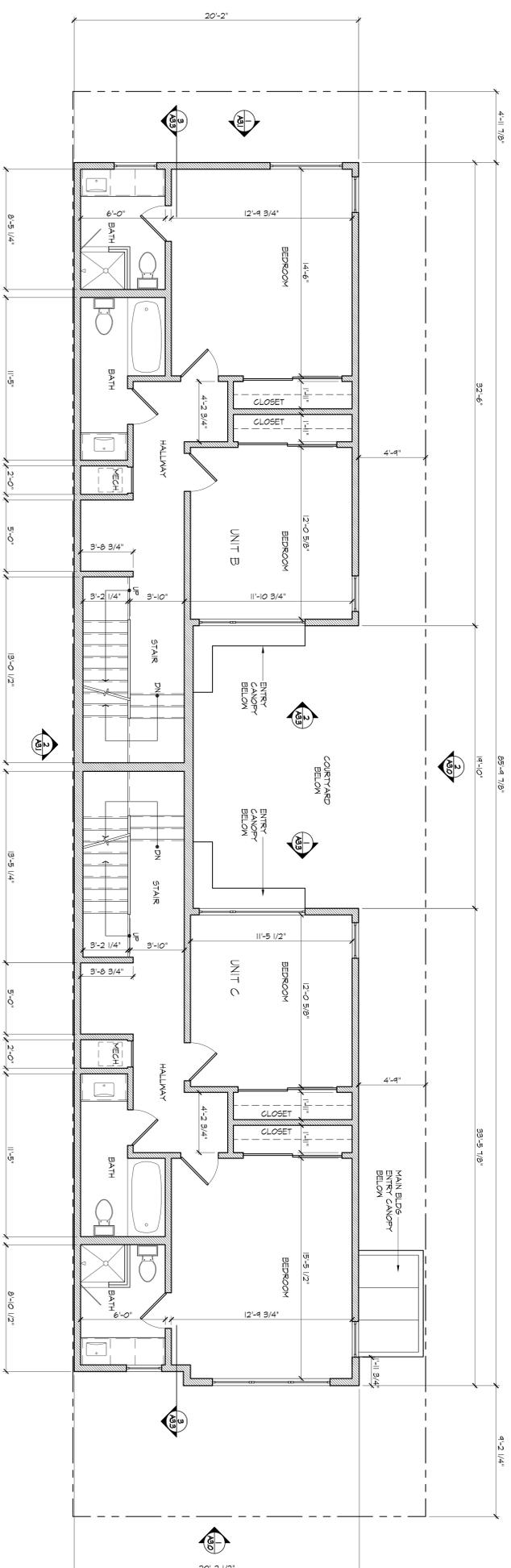
PROPOSED FIRST AND SECOND LEVEL FLOOR PLAN

SCALE
1/4" = 1'-0"

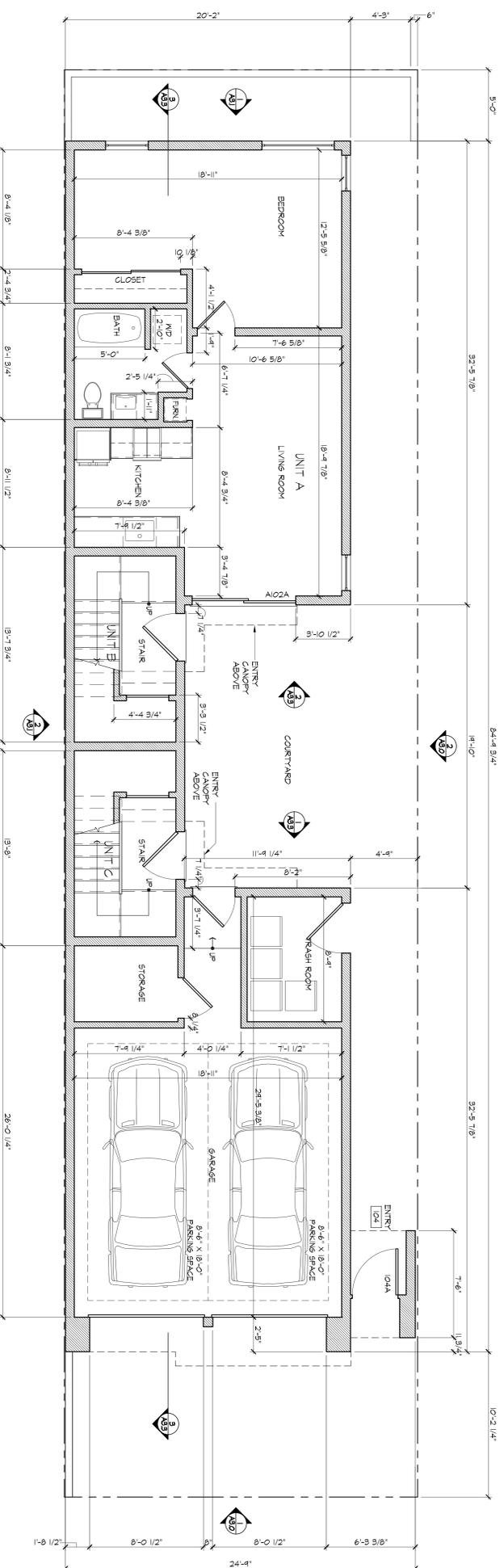


SHEET NUMBER

A2.0



2
PROPOSED SECOND LEVEL FLOOR PLAN



1
PROPOSED FIRST LEVEL FLOOR PLAN

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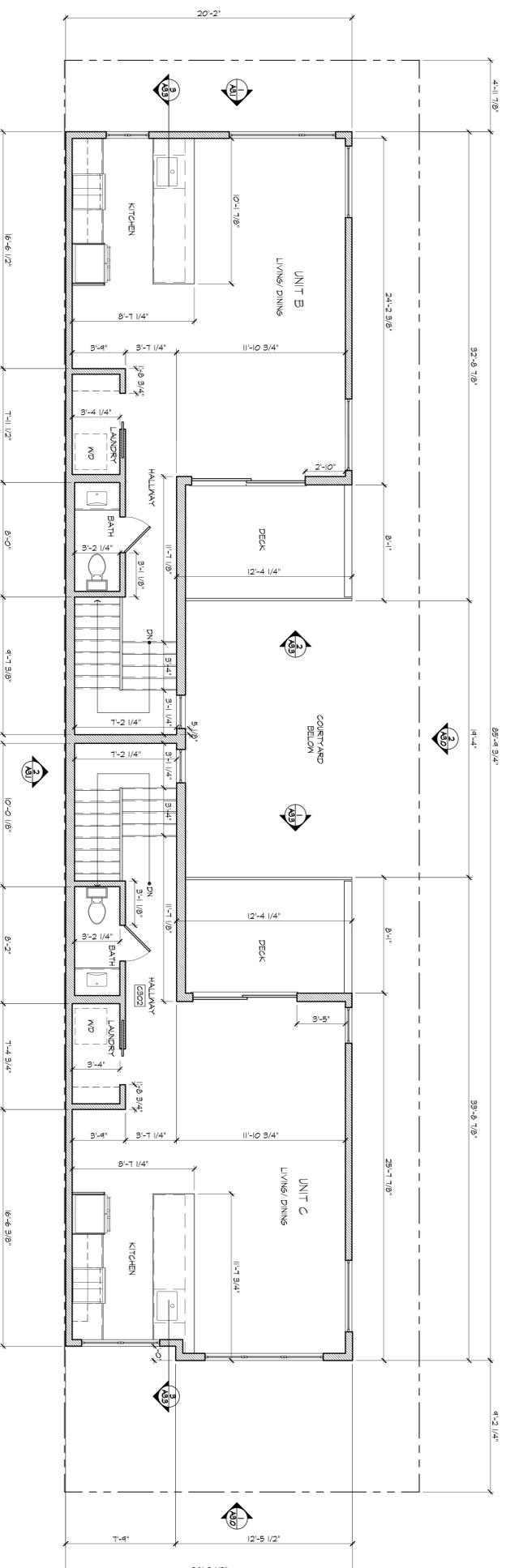
SHEET TITLE
PROPOSED THIRD LEVEL
FLOOR PLAN

SCALE
1/4" = 1'-0"



SHEET NUMBER

A2.1

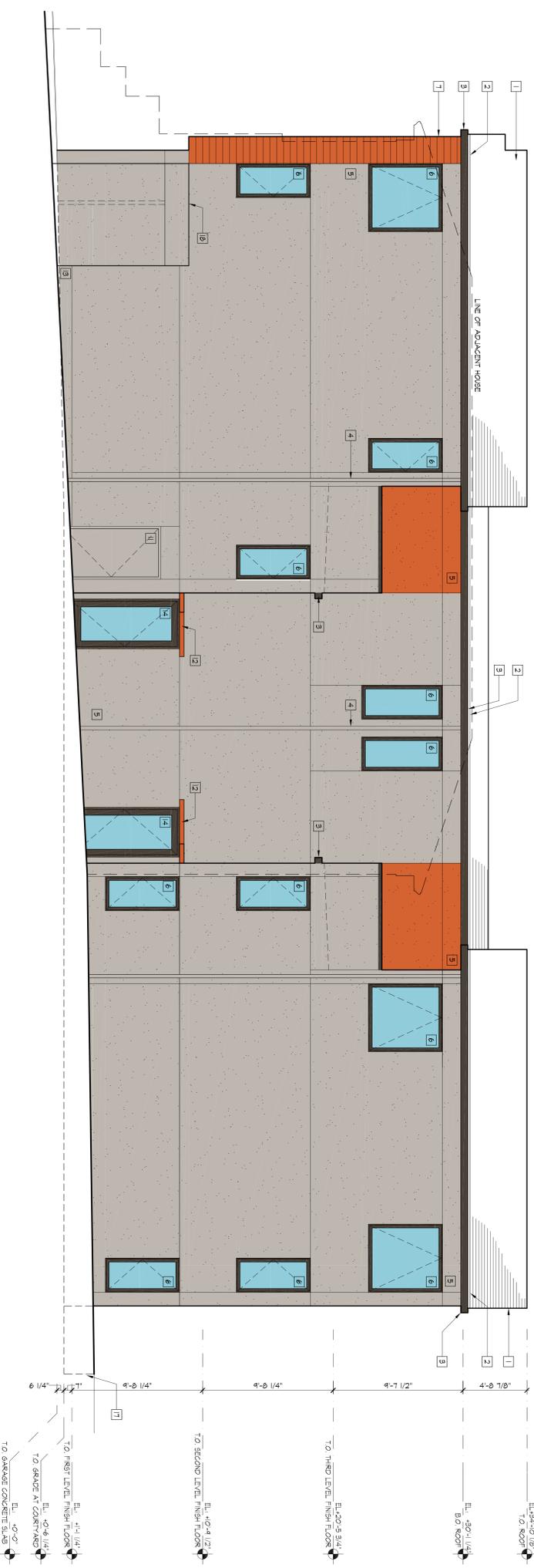


PROPOSED THIRD LEVEL FLOOR PLAN

ALL DRAWINGS AND WRITTEN MATERIAL, INCLUDING DESIGN CONCEPTS, SKETCHES, AND UNPUBLISHED WORK OF THE ARCHITECT AND ANY NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

KEY NOTES: PROPOSED/ NEW

- 1 CONCRETE ROOF SHINGLE
- 2 WOOD PALKA PAINTED
- 3 METAL GUTTER PAINTED
- 4 METAL DOWN SPOT PAINTED
- 5 (3) COAT GYPSUM PLASTER WITH ELASTOMERIC FINISH COAT
- 6 ANCOZIED ALUMINUM WINDOW
- 7 1 X 4 T&G WOOD SIDING PAINTED
- 8 1 X 8 T&G WOOD SIDING PAINTED
- 9 ANCOZIED ALUMINUM GARAGE DOOR WITH OPACIDE GLASS
- 10 PAINTED GALV. METAL GARGOIL WITH TAPERED GLASS PANEL AND WOOD CAP
- 11 ANCOZIED ALUMINUM DOOR PAINTED
- 12 METAL CANOPY
- 13 CONCRETE FOUNDATION WALL
- 14 ANCOZIED ALUMINUM DOOR PAINTED WITH GLASS LITE
- 15 WOOD POST PAINTED
- 16 CONCRETE STEPS
- 17 SMALL CONCRETE RETAINING WALL
- 18 METAL AND GLASS ENTRY CANOPY
- 19 METAL GATE PAINTED



2 | PROPOSED EAST ELEVATION



1 | PROPOSED SOUTH ELEVATION (FRONT)

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4.	09.27.2016	DESIGN REVIEW REVISIONS 3

SHEET TITLE
PROPOSED
SOUTH AND EAST ELEVATION

SCALE
1/4" = 1'-0"

SHEET NUMBER
A3.0

ALL DRAWINGS AND WRITTEN MATERIAL, INCLUDING REVISIONS, CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

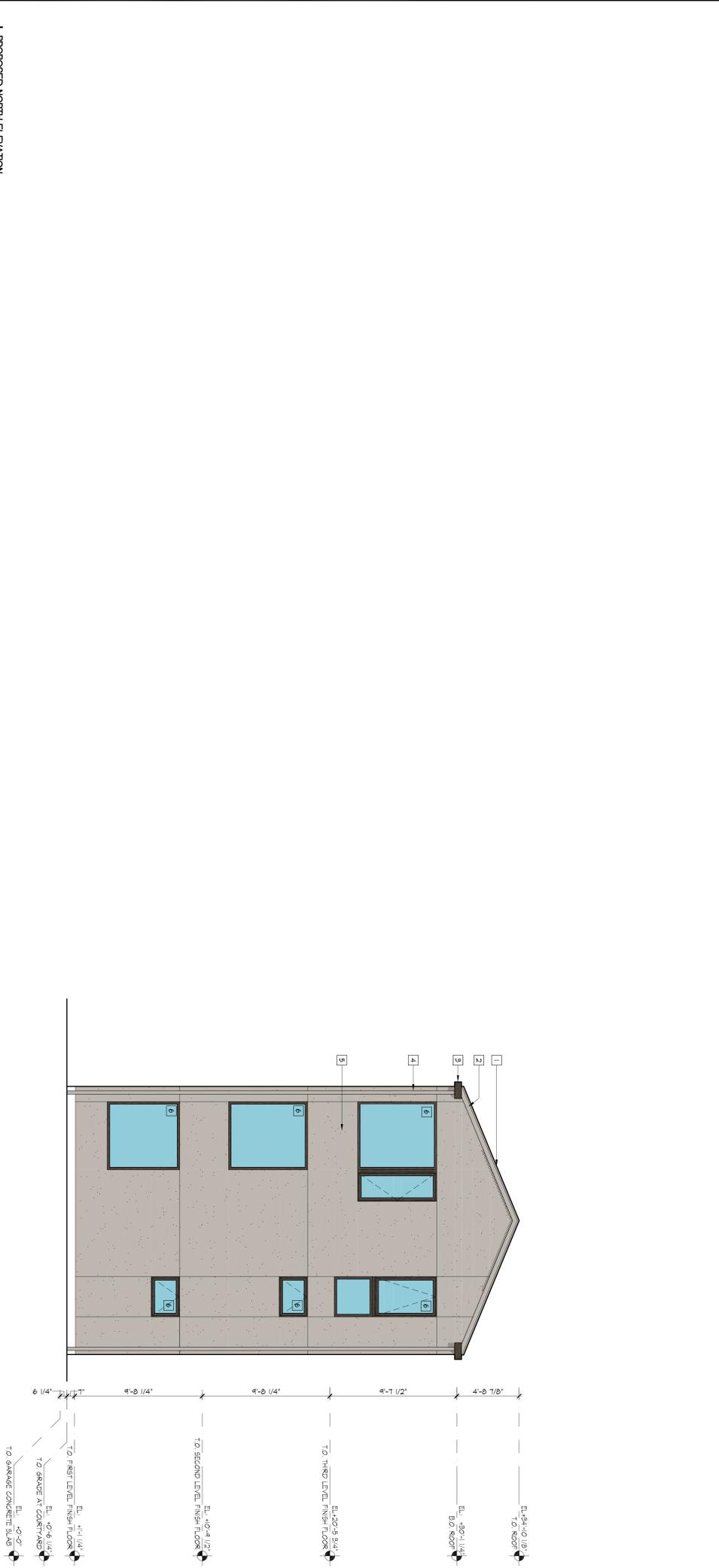
KEY NOTES: PROPOSED/ NEM

- 1 CONCRETE ROOF SINGLE
- 2 WOOD PALKA PAINTED
- 3 METAL GITTER PAINTED
- 4 METAL DOWN SPOT PAINTED
- 5 (B) COAT GYPSUM PLASTER WITH ELASTOMERIC FINISH COAT
- 6 ANCOZIED ALUMINUM ANCON
- 7 1 X 4 T16 WOOD SIDING PAINTED
- 8 1 X 8 T16 WOOD SIDING PAINTED
- 9 ANCOZIED ALUMINUM GARAGE DOOR WITH GRADE GLASS
- 10 PAINTED GAL. METAL GARGOIL WITH TAPERED GLASS PANEL AND WOOD CAP
- 11 ANCOZIED ALUMINUM DOOR PAINTED
- 12 METAL CANOPY
- 13 CONCRETE FOUNDATION WALL
- 14 ANCOZIED ALUMINUM DOOR PAINTED WITH GLASS LITE
- 15 WOOD POST PAINTED
- 16 CONCRETE STEPS
- 17 SMALL CONCRETE RETAINING WALL
- 18 METAL AND GLASS ENTRY CANOPY
- 19 METAL GATE PAINTED

2 | PROPOSED WEST ELEVATION



1 | PROPOSED NORTH ELEVATION



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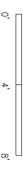


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SHEET TITLE
PROPOSED
NORTH AND WEST ELEVATION

SCALE
1/4" = 1'-0"



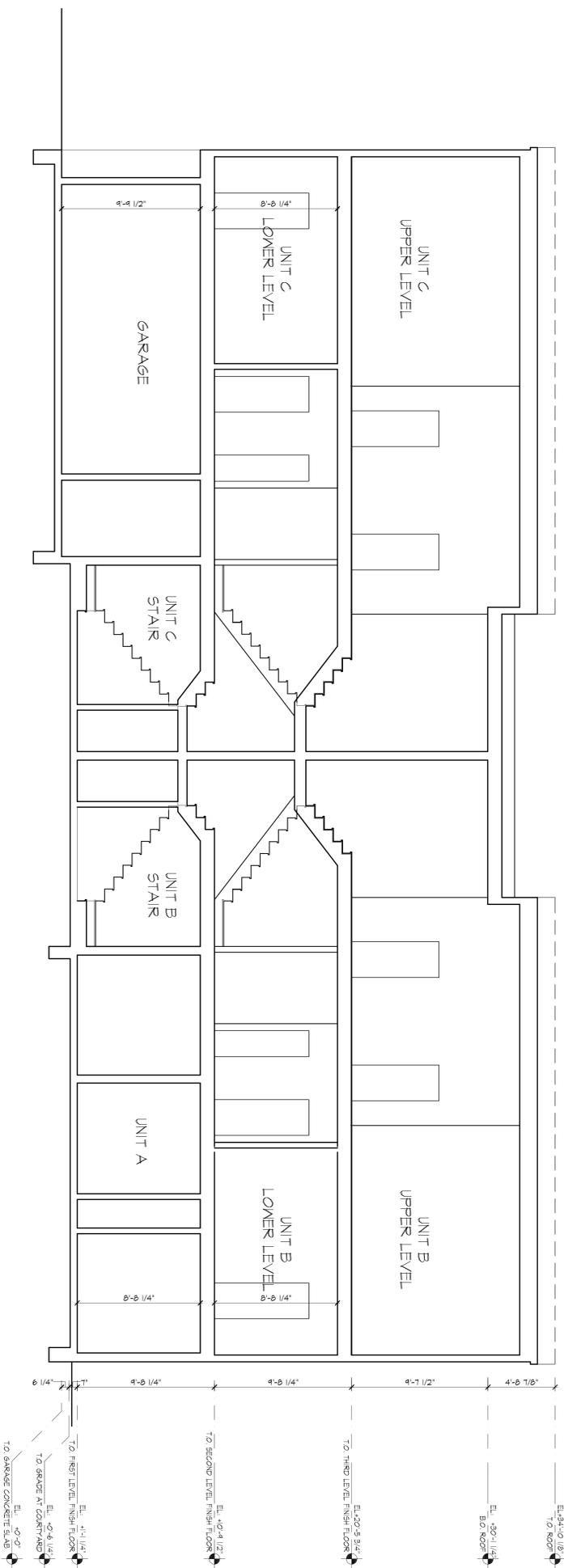
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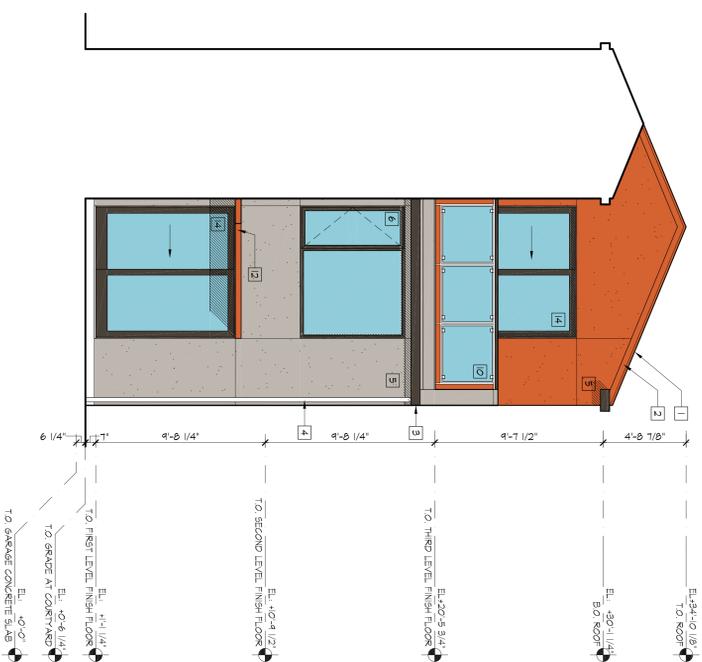
KEY NOTES: PROPOSED/ NEM

- 1 CONCRETE ROOF SINGLE
- 2 WOOD FACIA PAINTED
- 3 METAL GUTTER PAINTED
- 4 METAL DOWN SPOT PAINTED
- 5 (3) COAT GYPSUM PLASTER WITH ELASTOMERIC FINISH COAT
- 6 ANCOZIED ALUMINUM INCON
- 7 1 X 4 T&G WOOD SIDING PAINTED
- 8 1 X 8 T&G WOOD SIDING PAINTED
- 9 ANCOZIED ALUMINUM GARAGE DOOR WITH GRADE GLASS
- 10 PAINTED GALV METAL GARGOIL WITH TAPERED GLASS PANEL AND WOOD CAP
- 11 ANCOZIED ALUMINUM DOOR PAINTED
- 12 METAL CANOPY
- 13 CONCRETE FOUNDATION WALL
- 14 ANCOZIED ALUMINUM DOOR PAINTED WITH GLASS LITE
- 15 WOOD POST PAINTED
- 16 CONCRETE STEPS
- 17 SMALL CONCRETE RETAINING WALL
- 18 METAL AND GLASS ENTRY CANOPY
- 19 METAL GATE PAINTED

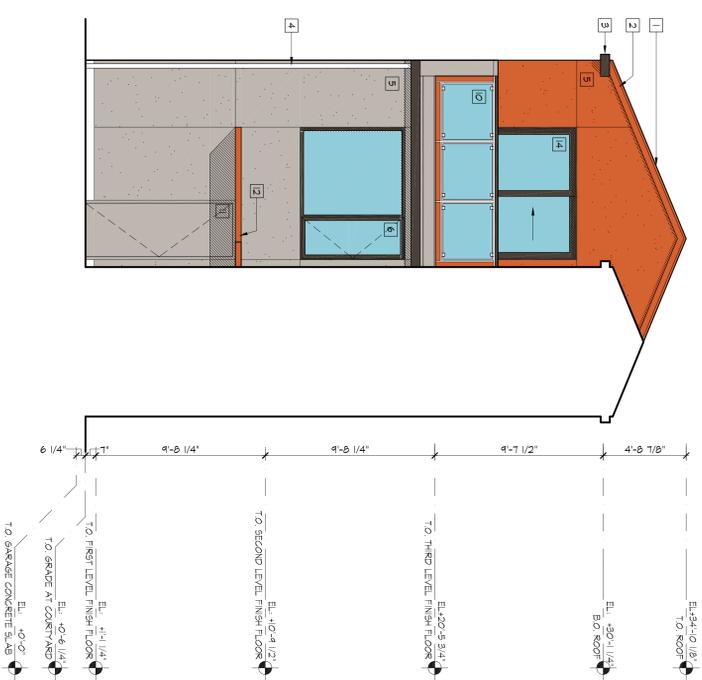
3 PROPOSED BUILDING SECTION



2 PROPOSED SOUTH ELEVATION (LOOKING FROM INSIDE THE COURTYARD)



1 PROPOSED NORTH ELEVATION (LOOKING FROM INSIDE THE COURTYARD)



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ISSUES AND REVISIONS

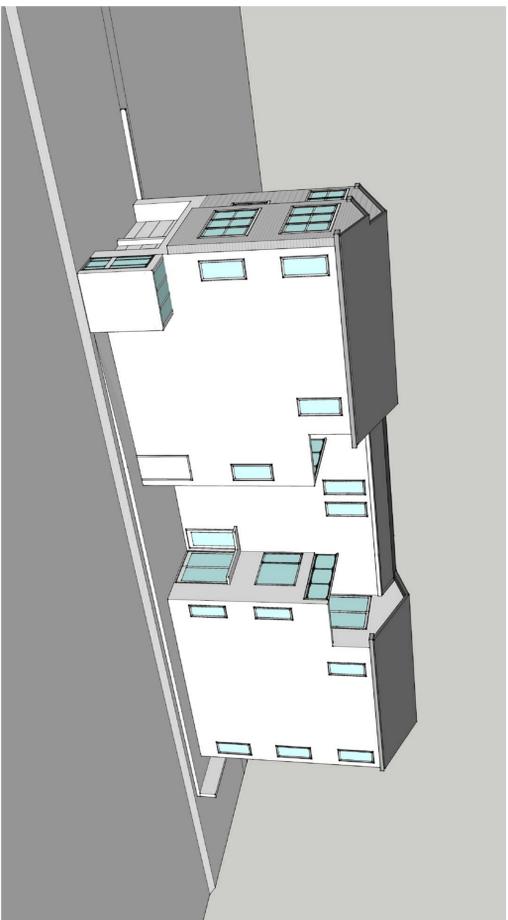
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SHEET TITLE
PROPOSED NORTH AND SOUTH ELEVATION
(LOOKING FROM COURTYARD)

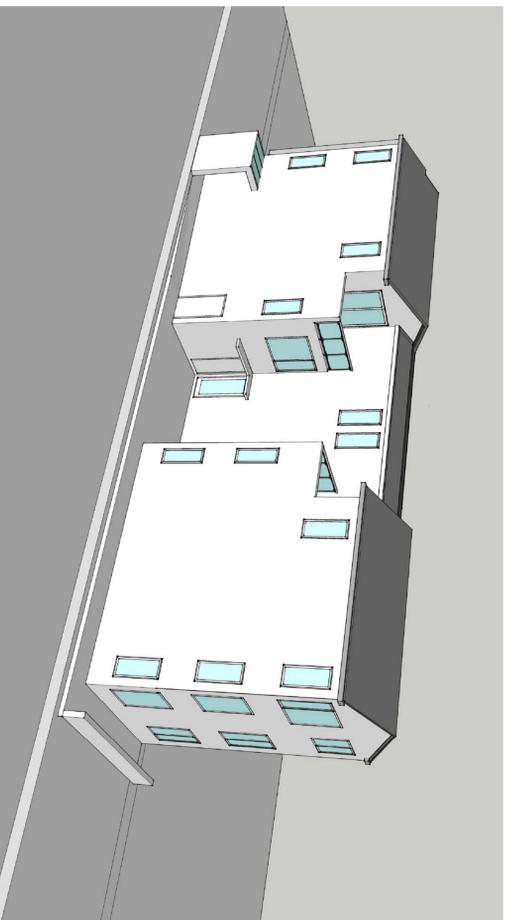


SHEET NUMBER

A3.2



6 | VIEW OF FRONT FACAD AND EAST SIDE OF BUILDING



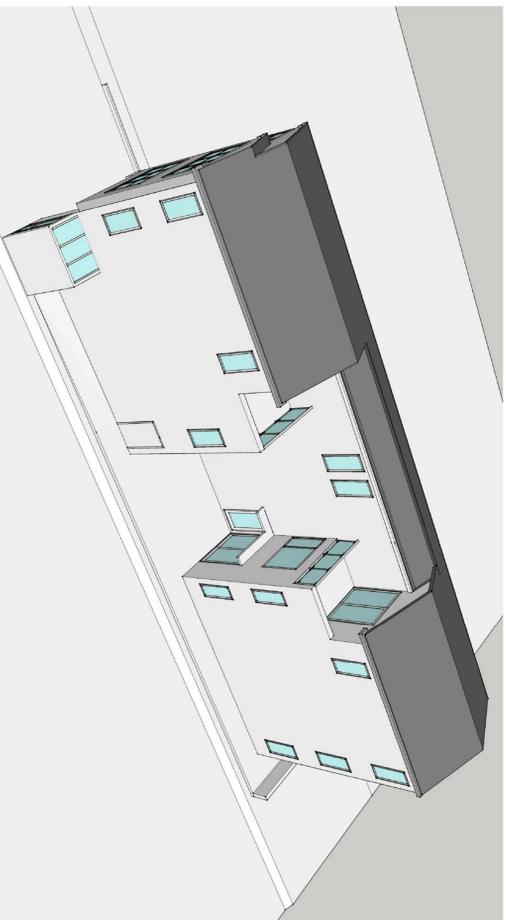
5 | VIEW OF EAST SIDE OF BUILDING AND REAR



3 | VIEW OF FRONT FACADE (LOOKING EAST FROM 6TH STREET)



2 | VIEW OF FRONT FACAD (LOOKING WEST FROM 6TH STREET)



4 | VIEW OF COURTYARD AND EAST SIDE OF BUILDING



1 | VIEW OF FRONT FACADE (LOOKING WEST FROM 6TH STREET)

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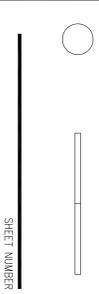
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4.	09.27.2016	DESIGN REVIEW REVISIONS 3



SHEET TITLE
PROPOSED 3D VIEWS

SCALE

SHEET NUMBER

A3.3



NO.	DATE	DESCRIPTION
1.	03.20.2016	DESIGN REVIEW

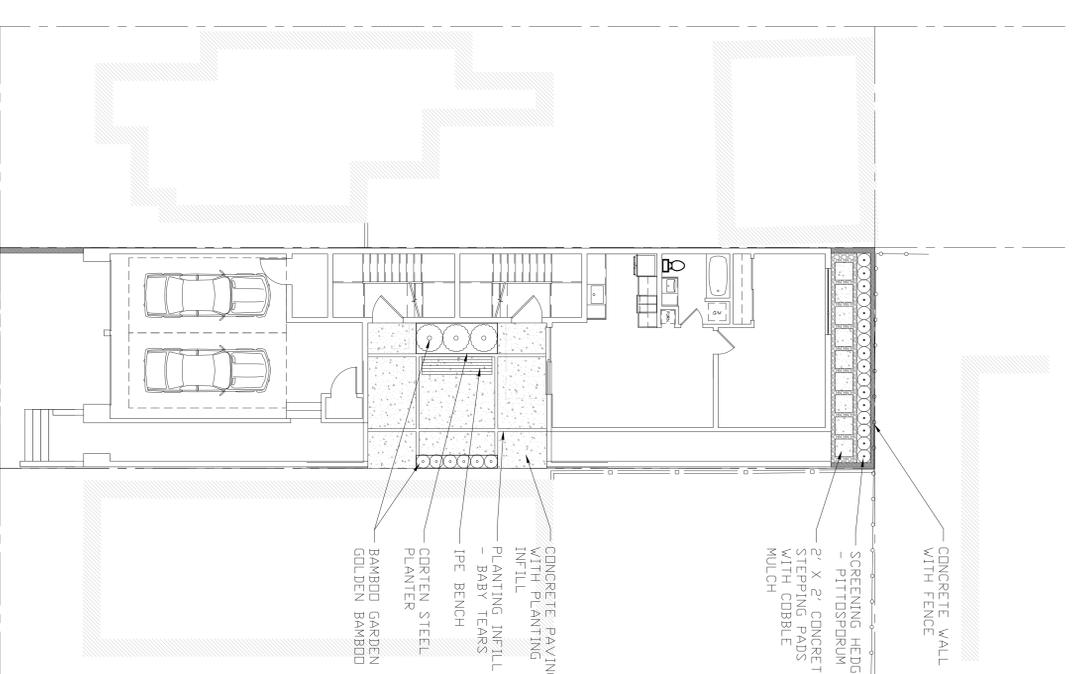
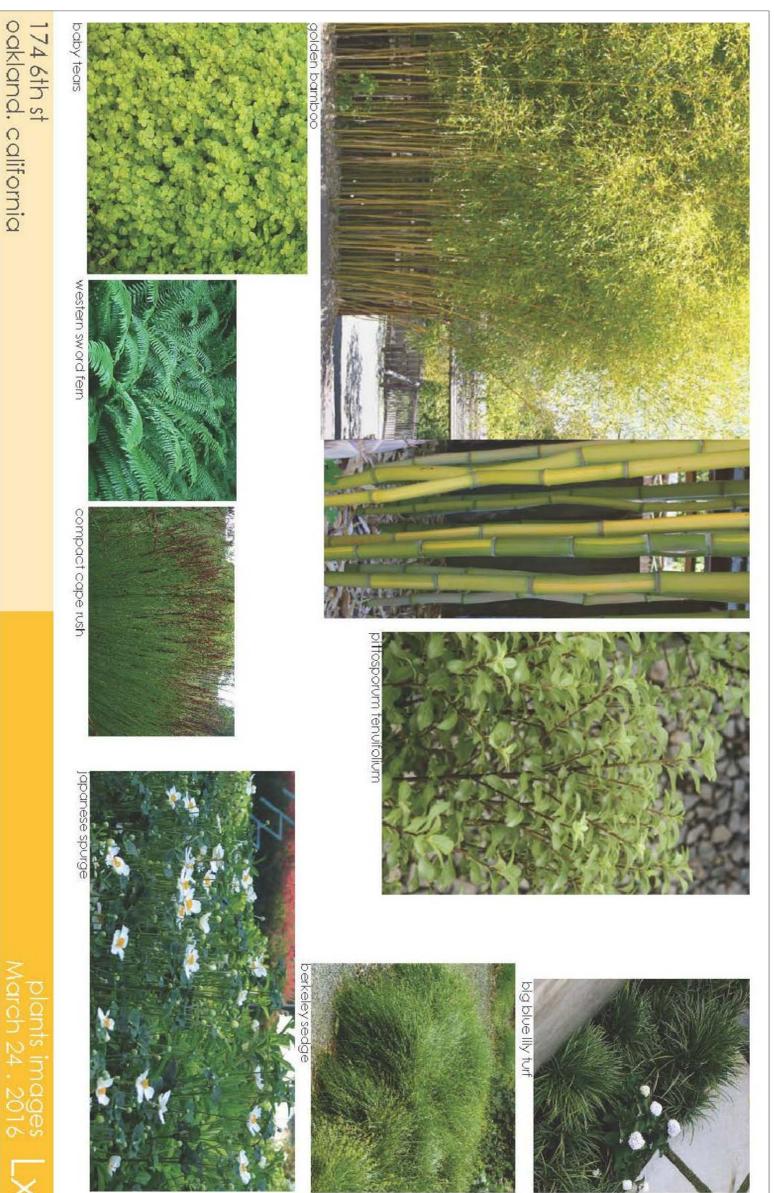
ISSUES AND REVISIONS

SHEET TITLE
LANDSCAPE PLAN

SCALE
1/8" = 1'-0"

SHEET NUMBER

LO.1



PLANT LIST

PLANT NAME	COMMON NAME	SIZE
Heliconia solorioli	BABY TEARS	1 gal
Phytolacca's aurea	GOLDEN BAMBOO	15 gal and 5 gal
Pittosporum tenuifolium		15 gal

LANDSCAPE NOTES

1. All planting areas are to be irrigated with an automatic irrigation system with real time weather tracking or rain / moisture sensors.
2. Planting to be irrigated with point source drip irrigation.
3. Much all planting areas with root barriers and/or concrete basin
4. Bamboo to be fully contained with root barriers and/or concrete basin