

Case File Number PLN16093

August 8, 2016

Location:	174 6 th Street (APN: 001-0175-015-00)
Proposal:	To create new 3 unit, 3story , residential building in an Area of Primary Importance (API: 7th Street - Harrison Square Residential District)
Applicant:	Jack Backus
Contact Person/Phone Number:	Jack Backus, (510)393-9699
Owner:	same
General Plan:	Central Business District
Zoning:	D-LM-4, Downtown Lake Merritt – 4 Zone/CBD Height Area- 45
Environmental Determination:	Exempt, Section 15303 of the State CEQA Guidelines; new small structures. Section 15183 of the State CEQA Guidelines; projects consistent with a community plan, general plan or zoning.
Historic Status:	Vacant lot within the 7 th Street / Harrison Square Residential District API
Service Delivery District:	Metro
City Council District:	2
For Further Information:	Contact Moe Hackett (510) 238-3973, mhackett@oaklandnet.com

INTRODUCTION

Jack Backus has filed an application with the Bureau of Planning to develop a 3 unit residential building with reduced parking by 1 required space (pursuant to Section 17.116.290C, which allows for 50% of the required parking). The project site is a 2500 square foot vacant lot on 6th Street between Madison Street and Jackson Street directly across the street from the 880 Freeway and is located in the 7th Street / Harrison Square Residential District API. Pursuant to Planning Code Sections 17.136.055C any new construction project located within an API in the Central Business District, shall be reviewed by the Landmarks Preservation Advisory Board prior to any action on the application by the decision making body.

The main purpose of this hearing is to receive input from the Landmarks Board regarding the proposed design of the new building within the 7th Street / Harrison Square Residential District API prior to a decision being made on the project by the Zoning Manager.

SITE DESCRIPTION

The project site is a 2,500 square foot lot (25' x 100') located on 6th Street mid-block between Madison and Jackson Streets directly facing the 880 Freeway.

7th Street / Harrison Square Residential District

The site is located in the 7th Street / Harrison Square Residential District, which is considered eligible for listing on the National Register of Historic Places as a large, centrally located surviving area of middle and low-middle-class housing constructed largely between 1889 and 1910.

The District comprises most of the nine square blocks bounded by Harrison, 8th, Laney College, and the Freeway; both sides of 7th Street are included. The buildings are generally rectangular residential blocks, one to four stories high, occupying their entire lots at the street frontage, and in Italianate, Stick, Queen Anne, and Colonial architectural styles. The District is located primarily in Chinatown with the freeway to the south and the college to the east. Modern mid-rise buildings and smaller utility commercial building are scattered through the district.

Along 6th Street, between Madison and Jackson, there are five contributors, one non-contributor, and one potential-contributor (remodeled) at the corner facing towards Madison. The neighboring houses are all two stories over low raised basement.

PROJECT DESCRIPTION

The proposed project is a three story building containing 3dwelling units with a front facing garage door and off-set front door at ground level. There are two two-story units and a one story ground floor unit at the rear. The ground floor (street frontage) would consist of a garage of an approximately 12-foot height. This height requires a Minor variance in this zone, as the minimum ground floor height is usually 15 feet required for all new buildings including residential. It is intended to provide for viable ground level commercial spaces or tall prominent residential lobbies for larger multi-unit buildings, which the intent is not necessarily applicable to a smaller scale building as proposed.) The building plan consists of two inline elements with a central open space at the ground level. The off-set front door accesses the central court yard and allows for entry into the two upper story units and to the rear ground-story studio unit at the rear of the open space. The studio unit also has a private open space area at the rear of the lot due to the rear yard setback requirement of 10 feet. The entry configuration is dictated by the requirement for fire egress with no structure above. The front setback is based on the building to the left (1798-180 7th Street).

ZONING ANALYSIS

The project site is located within the D-LM-4 Zone, Downtown Lake Merritt Zone -4 which is intended to designate areas of the Lake Merritt Station Area Plan appropriate for a wide range of residential, commercial, and compatible light industrial activities. The site is also located in the Lake Merritt height area allowance for 45-feet. The proposed structure is approximately 37-feet tall at its highest point near the middle of the lot, and 32-feet tall at the front façade. Staff feels it can support the Minor variance for reduced height and the Minor Conditional Use Permit for the reduction of one required parking space. Staff feels that the allowance for the reduced height is based on both the residential use and location of the project which is not a commercial corridor. The parking reduction is based on the projects close proximity to public transportation and the relatively small size of the third ground-floor rear unit.

PLANNING PERMITS REQUIRED

Regular Design Review to create a new triplex, Minor Variance for first floor height less than 12 feet, and a Minor Conditional Use Permit for a reduction of required parking from 3 to 2 parking stalls. Staff specifically requests that the LPAB provide direction on the proposed project as it pertains to the Design Review requirement of the project.

Required Design Review Findings for Approval

The proposal must meet the following two sets of Design Review findings:

17.136.050 Regular design review criteria.

A. For Residential Facilities.

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures;
2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics;
3. That the proposed design will be sensitive to the topography and landscape;
4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill;
5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

17.136.055 Special regulations for Historic Properties in the Central Business Zones.

B.2. Findings.

- a) Any proposed new construction is compatible with the existing API in terms of massing, siting, rhythm, composition, patterns of openings, quality of material, and intensity of detailing;
- b) New street frontage has forms that reflect the widths and rhythm of the facades on the street and entrances that reflect the patterns on the street;
- c) The proposal provides high visual interest that either reflects the level and quality of visual interest of the API contributors or otherwise enhances the visual interest of the API.
- d) The proposal is consistent with the visual cohesiveness of the API. For the purpose of this finding, visual cohesiveness is the architectural character, the sum of all visual aspects, features, and materials that defines the API. A new structure contributes to the visual cohesiveness of a district if it relates to the design characteristics of a historic district while also conveying its own time. New construction may do so by drawing upon some basic building features, such as the way in which a building is located on its site, the manner in which it relates to the street, its basic mass, form, direction or orientation (horizontal vs. vertical), recesses and projections, quality of materials, patterns of openings and level of detailing. When some combination of these design variables are arranged in a new building to relate to those seen traditionally in the area, but integral to the design and character of the proposed new construction, visual cohesiveness results;

- e) Where height is a character-defining element of the API there are height transitions to any neighboring contributing historic buildings. "Character-defining elements" are those features of design, materials, workmanship, setting, location, and association that identify a property as representative of its period and contribute to its visual distinction or historical significance. APIs with a character-defining height and their character-defining height level are designated on the zoning maps; and
- f) For additions, the proposal meets either: 1) Secretary of Interior's standards for the treatment of historic resources; 2) the proposal will not adversely affect the character of the property or API; or, 3) upon the granting of a conditional use permit, (see Chapter 17.134 for the CUP procedure) and a hearing in front of the Landmarks Preservation Advisory Board for its recommendations, a project meets the additional findings in Subsection g., below.
- g) For construction of new principal buildings:
 - i. The project will not cause the API to lose its status as an API;
 - ii. The proposal will result in a building or addition with exterior visual quality, craftsmanship, detailing, and high quality and durable materials that is at least equal to that of the API contributors; and
 - iii. The proposal contains elements that relate to the character-defining height of the API, if any, through the use of a combination of upper story setbacks, window patterns, change of materials, prominent cornice lines, or other techniques. APIs with a character-defining height and their character-defining height level are designated on the zoning maps.

RECOMMENDATION

1. Receive any testimony from the applicant and/or interested parties.
2. Provide direction to staff as to whether or not the LPAB finds the project as proposed is consistent with the required Design Review Findings.

Prepared by:



MOE HACKETT
Planner II

Approved by:



SCOTT MILLER
Zoning Manager

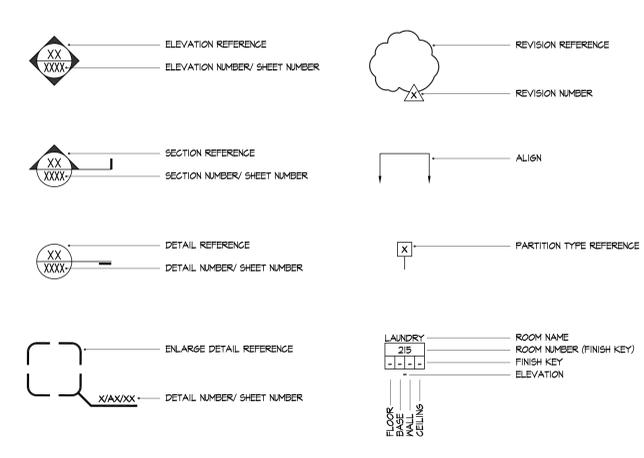
ATTACHMENTS:

- A. Project Plans
- B. Comments from the Oakland Heritage Alliance (dated July 17, 2016)

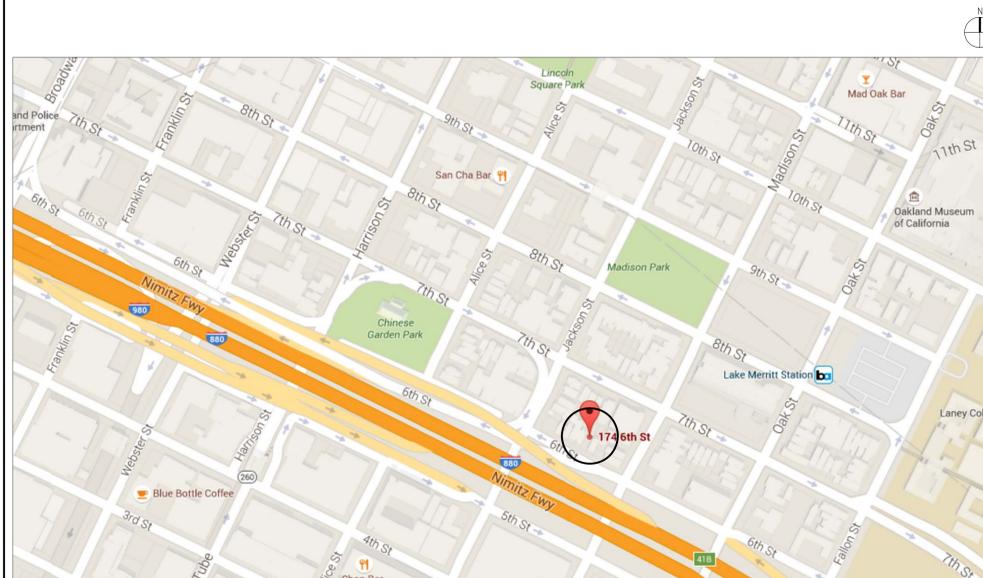
ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	DET.	DETAIL	H.G.	HANDICAP	P.G.	PANT GRADE	THK.	THICK
ACCD'S.	ACCORDING	D.F.	DRINKING FOUNTAIN	HR.	HEADER	FLAS.	FLASTIC	THOLD.	THRESHOLD
ACOUS.	ACOUSTICAL	DIA.	DIAMETER	HWYR.	HARDWARE	FLAM.	FLASTIC LAMINATE	TRANS.	TRANSPARENT
ADD'L.	ADDITIONAL	DM.	DIMENSION	HWYD.	HARDWOOD	FLY.	FLYWOOD	T.O.	TOP OF
ADJ.	ADJUSTABLE OR ADJACENT	D.S.	DOWNSPOUTS	H.M.	HOLLOW METAL	P.L.	PROPERTY LINE	T.O.C.	TOP OF CONCRETE
A.F.F.	ABOVE FLOOR FINISH	DNS.	DRAWING	HT.	HEIGHT	POL.	POLISHED	T.O.S.	TOP OF SLAB
		EA.	EACH	HX.	HOT WATER	P.T.	PRESSURE TREATED	T.O.P.	TOP OF PLATE
		ELEC.	ELECTRIC OR ELECTRICAL	INSUL.	INSULATION	PTD.	PAINTED	T.S.	TUBE STEEL
ALUM.	ALUMINIUM	ELEV.	ELEVATOR	JT.	JOINT	PTN.	PARTITION	T.O.M.	TO OF WALL
ANOD.	ANODIZED	ENCL.	ENCLOSURE	LAM.	LAMINATE	U.O.N.	UNLESS OTHERWISE NOTED	TYP.	TYPICAL
ASBY	ASSEMBLY	EQ.	EQUAL	L.O.	LINE OF	R.	RADIUS	V.I.F.	VERIFY IN FIELD
BD.	BOARD	EX.	EXISTING	LT. FIXT.	LIGHT FIXTURE	R.D.	ROOF DRAIN	MD.	WOOD
BLDG.	BUILDING	EXH.	EXHAUST	MAT.	MATERIAL	RESIL.	RESILIENT		
BLK'G.	BLOCKING	EXT.	EXTERIOR	MAX.	MAXIMUM	REQ'D.	REQUIRED		
B.O.	BOTTOM OF	F.A.	FIRE ALARM FULL STATION	MESH.	MESH	R.O.	ROUGH OPENING		
B.P.	BUILDING PAPER	FDN.	FOUNDATION	MEMB.	MEMBRANE	RM.	ROOM		
BU.	BUILT UP	FIN.	FINISH	MET.	METAL	SCHED.	SCHEDULE		
CAB.	CABINET	F.E.G.	FIRE EXTINGUISHER	MFR.	MANUFACTURER	S.S.	STAIN GRADE		
CEM.	CEMENT	F.D.	FLOOR DRAIN	MPY.	MODIFY	S.S.D.	SEE STRUCTURAL DRAWINGS		
CER.	CERAMIC	FLUOR.	FLOURESCENT	MN.	MINIMUM	S.E.D.	SEE ELECTRICAL DRAWINGS		
CLS.	CELLING	F.O.	FACE OF	M.D.	MOUNTED	S.M.D.	SEE MECHANICAL DRAWINGS		
CL.	CENTERLINE	F.O.M.	FACE OF MALL	MTL.	METAL	S.P.D.	SEE PLUMBING DRAWINGS		
CLR.	CLEAR	FRM.	FRAMING	N/A	NOT APPLICABLE	SOT.	STAINLESS STEEL		
C.M.U.	CONCRETE MASONRY UNIT	FRMS.	FRAMING	N.I.C.	NOT IN CONTRACT	SIM.	SIMILAR		
C.O.	CLEANOUT	FTS.	FASTENERS	N.T.S.	NOT TO SCALE	SPEC.	SPECIFICATIONS		
COL.	COLUMN	FTS.	FOOTING	(N)	NEW	STL.	STEEL		
CONC.	CONCRETE	GA.	GAUSE	O.C.	FIRE ALARM FULL STATION	STRUC.	STRUCTURAL		
COND.	CONDITION	GALV.	GALVANIZED	O.D.	FOUNDATION	TEMP.	TEMPERED OR TEMPORARY		
CONTR.	CONTRACTOR	GDN.	GARDEN	OPNS.	FINISH	T&G	TONGUE AND GROOVE		
CPT.	CARPET	GL.	GLASS	OPNS.	FINISH				
C.T.	CERAMIC TILE	S.S.M.	GALVANIZED SHEET METAL	OPP.	FIRE EXTINGUISHER				
C.W.	COLD WATER	GYP. BD.	GYPSUM BOARD						

SYMBOL LEGEND



VICINITY MAP



SHEET INDEX

ARCHITECTURAL SHEETS (7 SHEETS ISSUED)	LANDSCAPE SHEETS (1 SHEET ISSUED)
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AI.0 EXISTING AND PROPOSED SITE PLAN	
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AS.2 PROPOSED NORTH AND SOUTH ELEVATION (LOOKING FROM WITHIN THE COURTYARD) AND BUILDING SECTION	
AS.3 PROPOSED 3D VIEWS	

PROJECT DIRECTORY

CLIENT
 JACK BACKUS ARCHITECTS
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SCOPE OF WORK

CONSTRUCTION OF NEW THREE UNIT BUILDING WITH TWO PARKING SPACES (2) THREE BEDROOM UNITS AND (1) ONE BEDROOM UNIT

PROJECT INFORMATION AND CODE REQUIREMENTS

PROJECT ADDRESS:	174 6TH STREET OAKLAND CALIFORNIA 94607	
ASSESSORS PARCEL NUMBER:	52-1567-43	
ZONING FOR PROJECT:	D-LM-4 LAKE MERRITT STATION AREA DISTRICT MIXED COMMERCIAL ZONE-4	
HEIGHT/ BULK, INTENSITY REGULATION:	LM-45	
EXISTING LOT AREA FOR PROJECT:	2500 SQ. FT. (NO CHANGE)	
HEIGHT (MAX. ALLOWED):	45'-0"	
SETBACK	REQUIRED SETBACK	PROPOSED SETBACK
MAXIMUM FRONT SETBACK (SOUTH):	10'-0" MAXIMUM	9'-7 1/4"
SIDE SETBACK (WEST):	0'-0"	1 1/2"
REAR SETBACK (NORTH):	0'-0"	5'-0"
SIDE SETBACK (EAST):	0'-0"	5'-0"

DESIGN REGULATIONS	REQUIRED	PROPOSED
GROUND FLOOR COMMERCIAL FACADE TRANSPARENCY:	55%	NOT APPLICABLE
MINIMUM HEIGHT OF THE GROUND FLOOR:	15'-0"	10'-11 1/2"
MINIMUM WIDTH OF STOREFRONT:	15'-0"	NOT APPLICABLE
MINIMUM SEPARATION BETWEEN THE GRADE AND GROUND FLOOR LIVING SPACE:	2'-5"	NOT APPLICABLE (GROUND FLOOR LIVING SPACE LOCATED BEYOND 15'-0" OF A STREET FRONTAGE)
HEIGHT/ BULK/ INTENSITY AREA	ALLOWED	PROPOSED
MAXIMUM HEIGHT:	45'-0"	35'-5 5/8" (HIGHEST POINT)
MAXIMUM RESIDENTIAL DENSITY:	450 SQ.FT. PER UNIT 2500/ 450 = 5.5 UNITS	3 UNITS
REQUIRED AMOUNTS OF USABLE OPEN SPACE:	75 SQ.FT. PER UNIT	UNIT A: 234 SQ.FT. (SHARE COURTYARD) UNIT B: 86 SQ.FT. (PRIVATE) UNIT C: 86 SQ.FT. (PRIVATE)

PARKING	REQUIRED				PROPOSED
	FIRST LEVEL	SECOND LEVEL	THIRD LEVEL	DECK	TOTAL (DECK NOT IN TOTAL)
NUMBER OF PARKING:	3/4 SPACE PER UNIT 3/4 X 3 UNIT = 2.25 SPACES				2 PARKING SPACES
GARAGE:	573.1 SQ.FT.	-	-	-	573.1 SQ.FT.
UNIT A:	613.3 SQ.FT.	-	-	-	613.3 SQ.FT.
UNIT B:	114.1 SQ.FT. (STAIRS ONLY)	733.5 SQ.FT.	650.4 SQ.FT.	86 SQ.FT.	1502 SQ.FT.
UNIT C:	117.4 SQ.FT. (STAIRS ONLY)	750.1 SQ.FT.	667.1 SQ.FT.	88.2 SQ.FT.	1626.4 SQ.FT.
TOTAL (DECK NOT IN TOTAL):	1424.5 SQ.FT.	1486.6 SQ.FT.	1318.1 SQ.FT.	174.2 SQ.FT.	4317.4 SQ.FT.

PHOTOS OF EXISTING PROPERTY / HOUSE



LEFT OF PROPERTY (LOOKING NORTH WEST FROM 6TH STREET)



FRONT OF PROPERTY (LOOKING FROM 6TH STREET)



RIGHT OF PROPERTY (LOOKING SOUTH EAST FROM 6TH STREET)

174 6th STREET

174 6th STREET
 OAKLAND, CA 94607

JACK BACKUS
 ARCHITECTS

1057 Hubert Road
 Oakland, CA 94610
 ph. 510.393.9699



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	04.04.2016	DESIGN REVIEW
2.	06.10.2016	DESIGN REVIEW REVISIONS 1

SHEET TITLE
 PROJECT INFORMATION

SCALE



SHEET NUMBER

A0.1

174 6th STREET

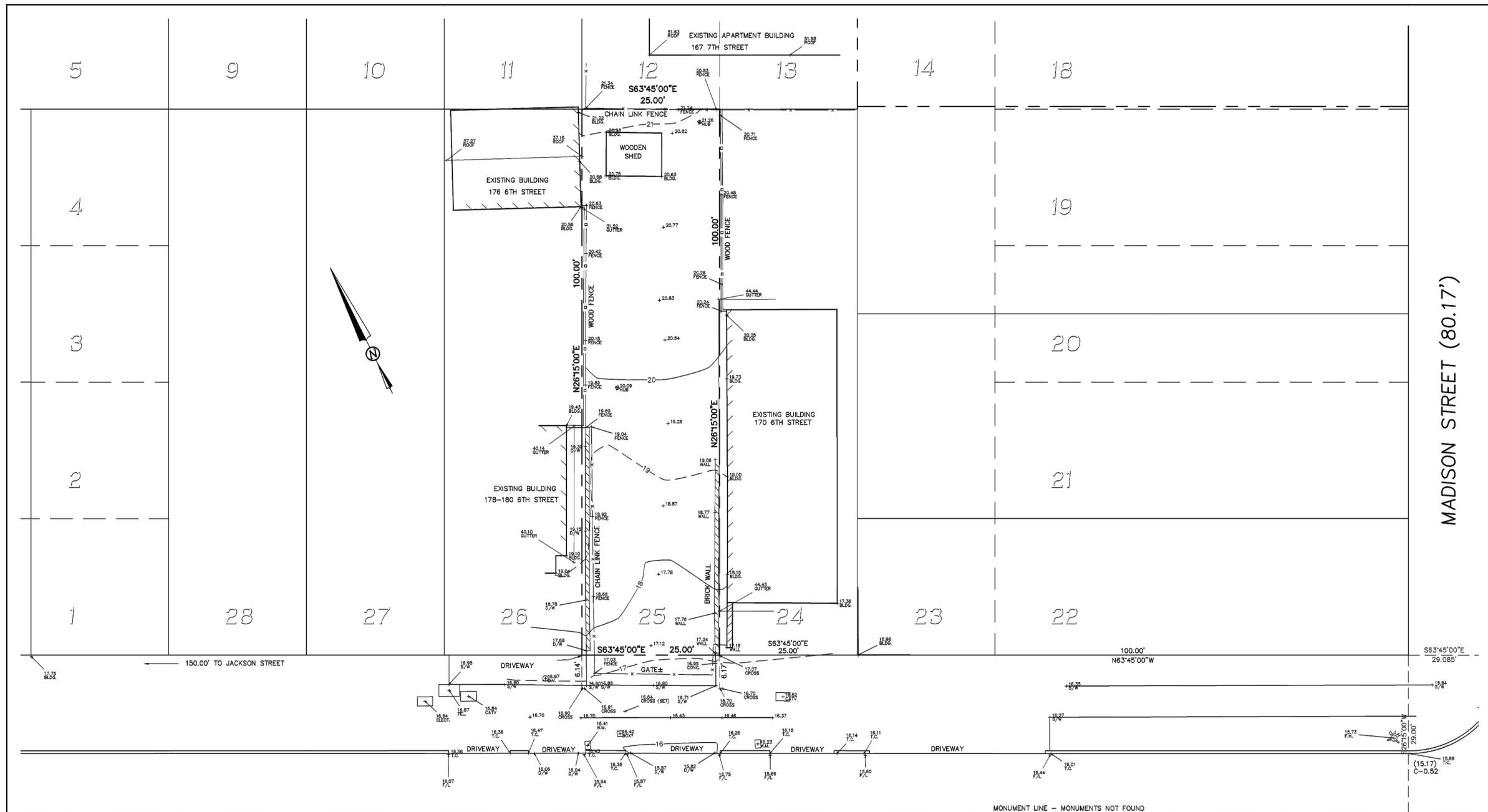
174 6th STREET
OAKLAND, CA 94607

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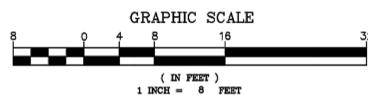


BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 25, BLOCK 61,
KELLERSBERGER'S MAP OF OAKLAND (7 M 3)
LOCATED AT 174 6TH STREET
CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA

NOVEMBER 19, 2015 SCALE: 1" = 8'

6TH STREET



REVISION: DECEMBER 2, 2015 - ADD ONE FOOT CONTOURS

MORAN ENGINEERING, INC.

CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930

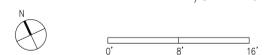
F.B. NO. 1572

SIXTH STREET LOT 25.DWG

JOB NO. 15-9285

SHEET TITLE
BOUNDARY AND TOPOGRAPHIC
SURVEY

SCALE
1/8" = 1'-0"



SHEET NUMBER

A0.2

12/22/2015 4:38:56 PM



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	04.04.2016	DESIGN REVIEW
2.	06.10.2016	DESIGN REVIEW REVISIONS 1

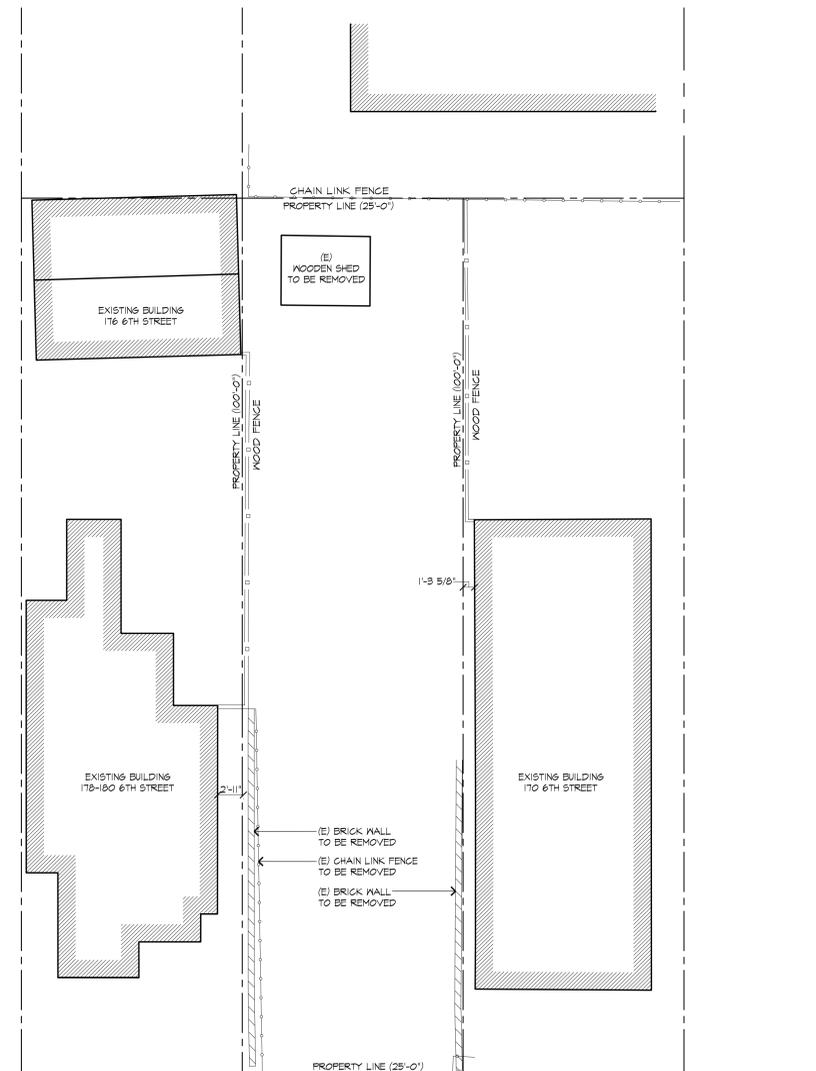
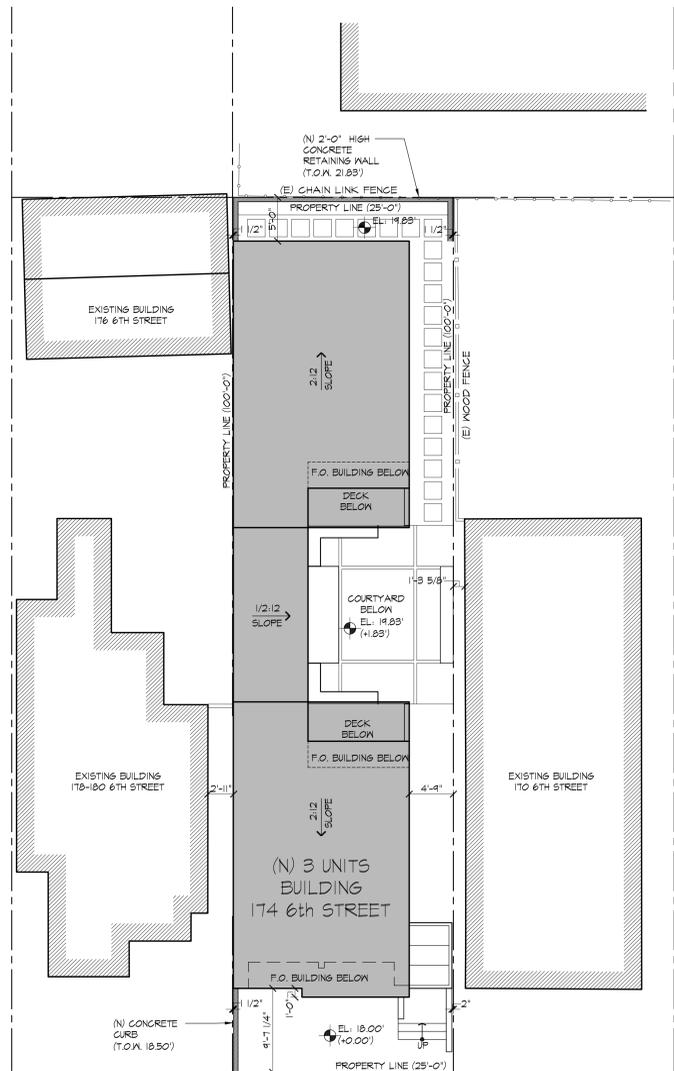
SHEET TITLE
EXISTING AND PROPOSED
SITE PLAN

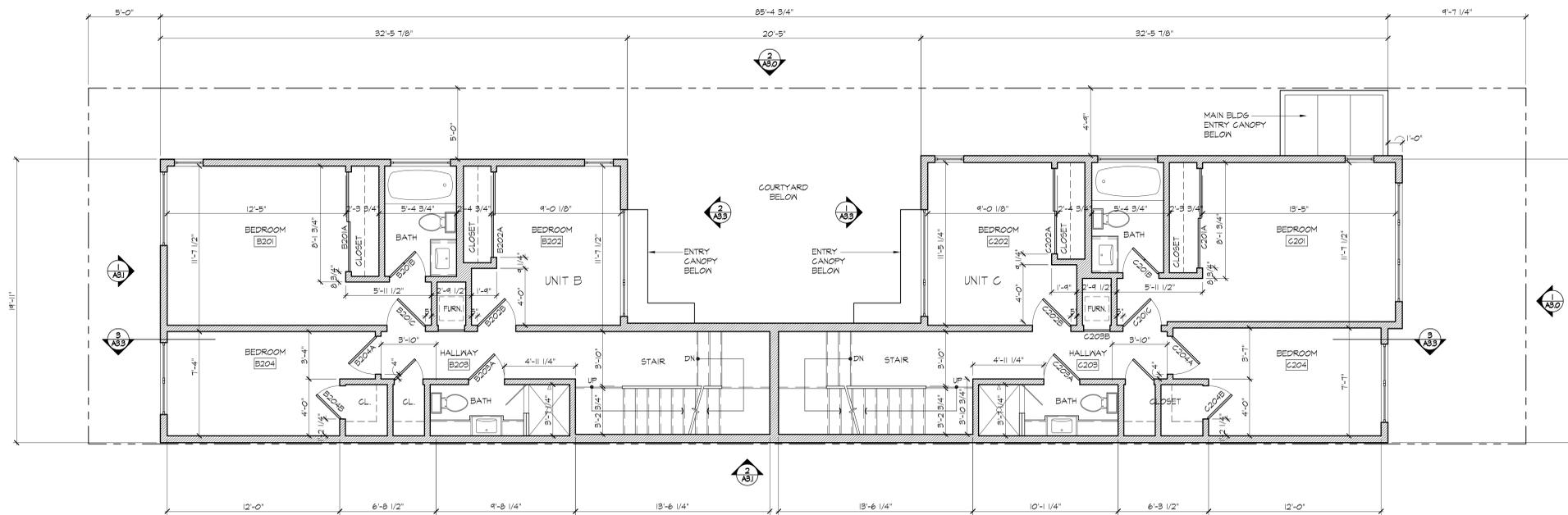
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SHEET NUMBER

A1.0

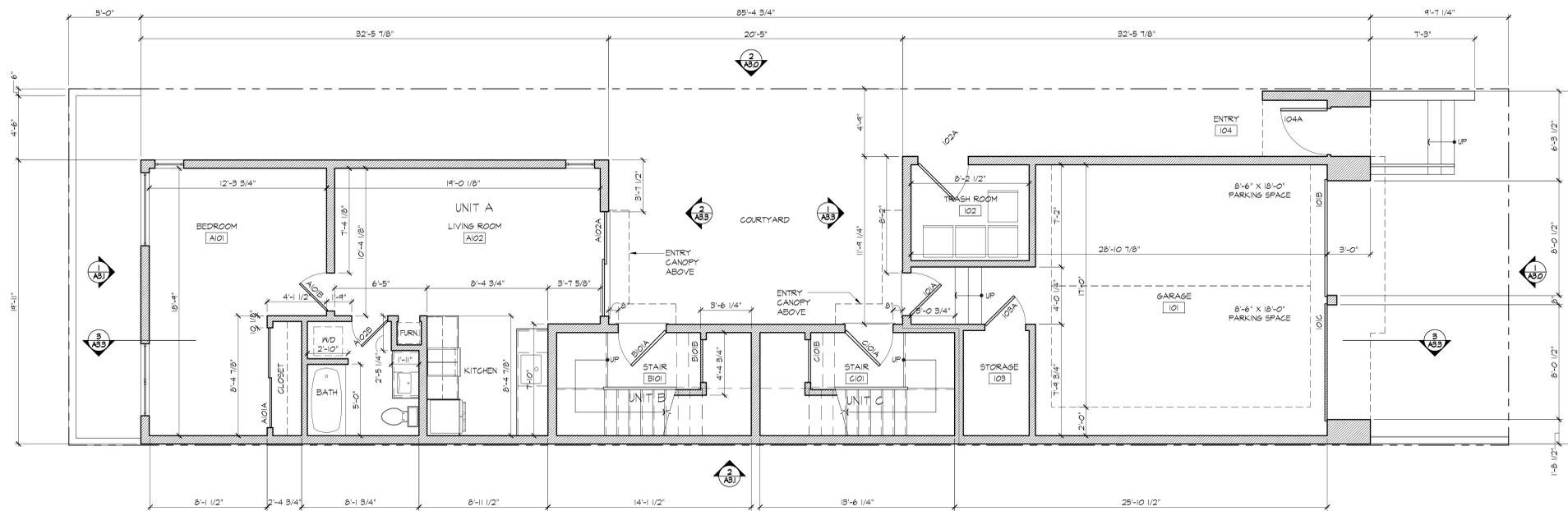




2 | PROPOSED SECOND LEVEL FLOOR PLAN
1/4"=1'-0"

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	04.04.2016	DESIGN REVIEW
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1 | PROPOSED FIRST LEVEL FLOOR PLAN
1/4"=1'-0"

SHEET TITLE
PROPOSED FIRST AND SECOND
LEVEL FLOOR PLAN

SCALE
1/4" = 1'-0"



SHEET NUMBER

A2.0

174 6th STREET

174 6th STREET
OAKLAND, CA 94607

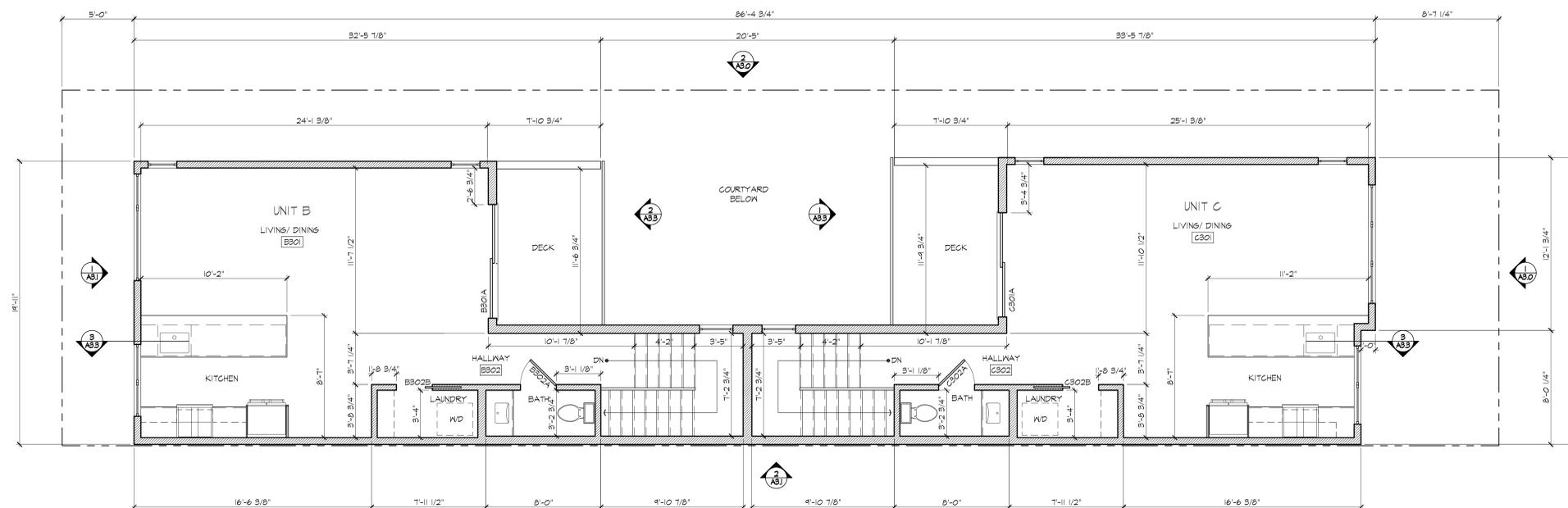
JACK BACKUS
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ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	04.04.2016	DESIGN REVIEW
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SHEET TITLE
PROPOSED THIRD LEVEL
FLOOR PLAN

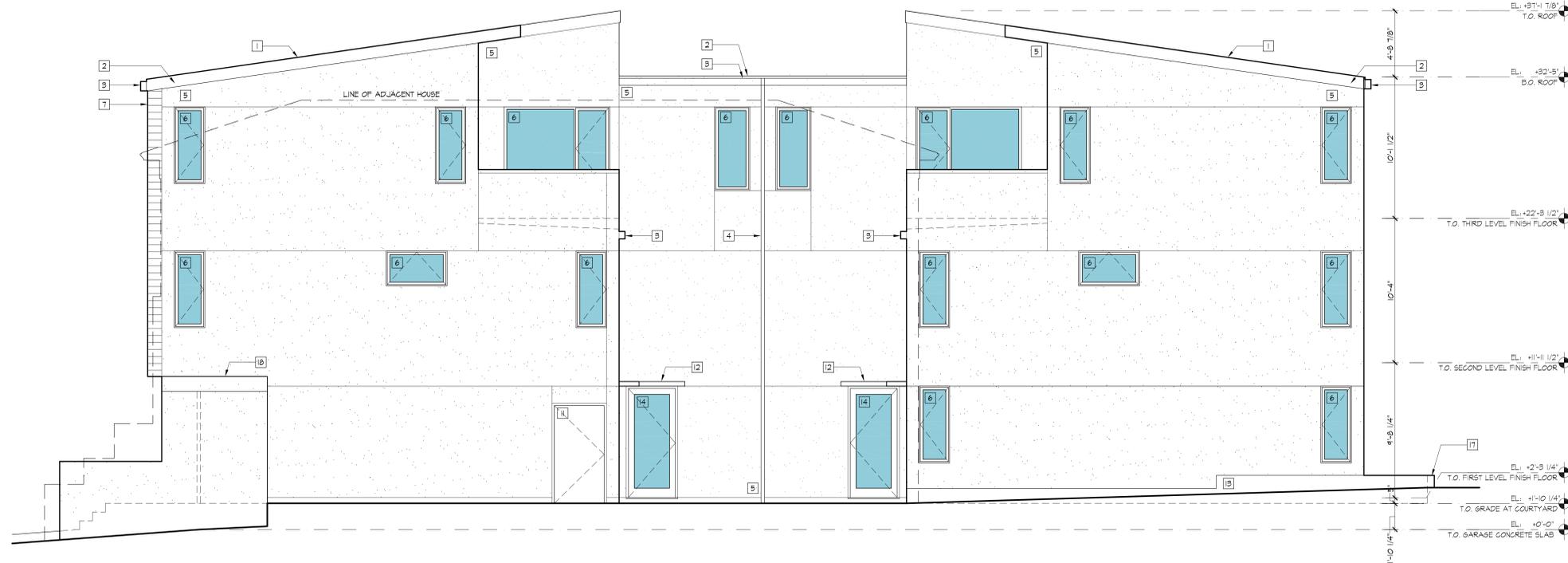
SCALE
1/4" = 1'-0"



SHEET NUMBER

KEY NOTES: PROPOSED/ NEW

- 1 3-PLY BUILT-UP ROOFING
- 2 METAL FASCIA, PAINTED
- 3 METAL GUTTER, PAINTED
- 4 METAL DOWN SPOUT, PAINTED
- 5 (3) COAT CEMENT PLASTER WITH ELASTOMERIC FINISH COAT
- 6 ANODIZED ALUMINUM WINDOW
- 7 WOOD SIDING, PAINTED
- 8 METAL GATE, PAINTED
- 9 FLAT PANEL WOOD GARAGE DOOR, PAINTED
- 10 PAINTED GAL. METAL GUARDRAIL WITH TEMPERED GLASS PANEL AND WOOD CAP
- 11 ANODIZED ALUMINUM DOOR, PAINTED
- 12 METAL CANOPY
- 13 CONCRETE FOUNDATION WALL
- 14 ANODIZED ALUMINUM DOOR, PAINTED, WITH GLASS LITE
- 15 WOOD POST, PAINTED
- 16 CONCRETE STEPS
- 17 SMALL CONCRETE RETAINING WALL
- 18 METAL AND GLASS ENTRY CANOPY



2 PROPOSED EAST ELEVATION
1/4"=1'-0"

174 6th STREET

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1 PROPOSED SOUTH ELEVATION (FRONT)
1/4"=1'-0"

SHEET TITLE
PROPOSED
SOUTH AND EAST ELEVATION

SCALE
1/4" = 1'-0"

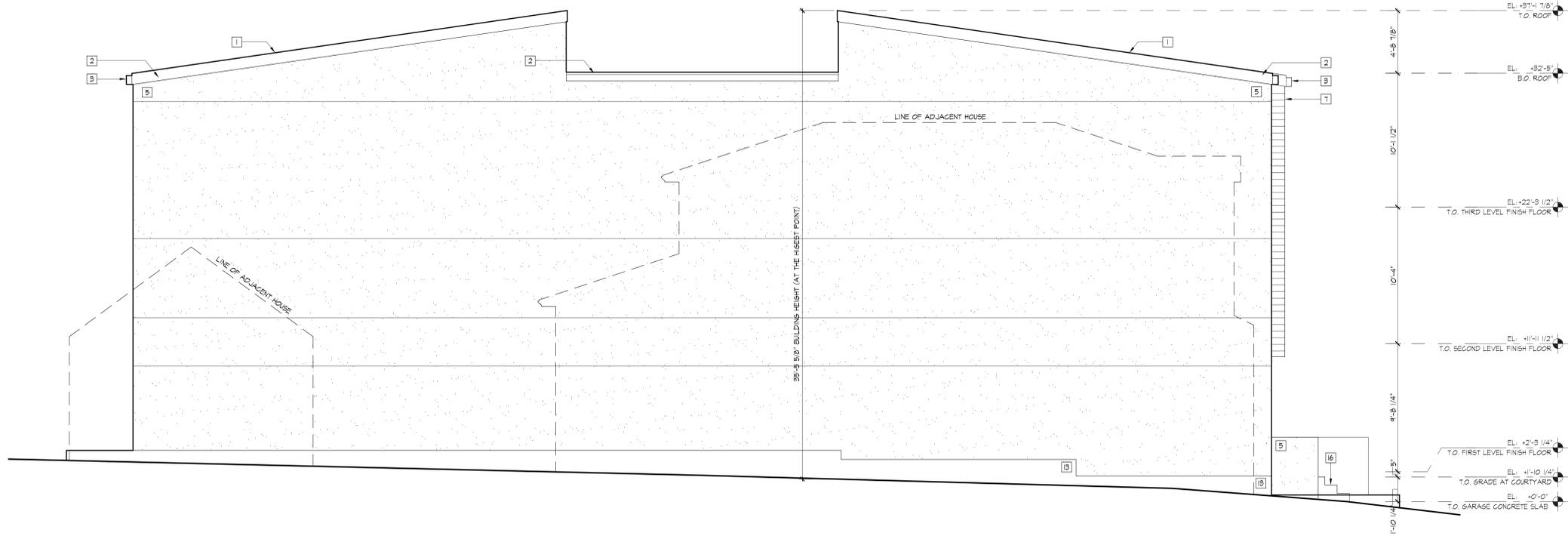


SHEET NUMBER

A3.0

KEY NOTES: PROPOSED/ NEW

- 1 3-PLY BUILT-UP ROOFING
- 2 METAL FACIA, PAINTED
- 3 METAL GUTTER, PAINTED
- 4 METAL DOWN SPOUT, PAINTED
- 5 (3) COAT CEMENT PLASTER WITH ELASTOMERIC FINISH COAT
- 6 ANODIZED ALUMINUM WINDOW
- 7 WOOD SIDING, PAINTED
- 8 METAL GATE, PAINTED
- 9 FLAT PANEL WOOD GARAGE DOOR, PAINTED
- 10 PAINTED GALV. METAL GUARDRAIL WITH TEMPERED GLASS PANEL AND WOOD CAP
- 11 ANODIZED ALUMINUM DOOR, PAINTED
- 12 METAL CANOPY
- 13 CONCRETE FOUNDATION WALL
- 14 ANODIZED ALUMINUM DOOR, PAINTED, WITH GLASS LITE
- 15 WOOD POST, PAINTED
- 16 CONCRETE STEPS
- 17 SMALL CONCRETE RETAINING WALL
- 18 METAL AND GLASS ENTRY CANOPY



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

174 6th STREET

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SHEET TITLE
PROPOSED
NORTH AND WEST ELEVATION

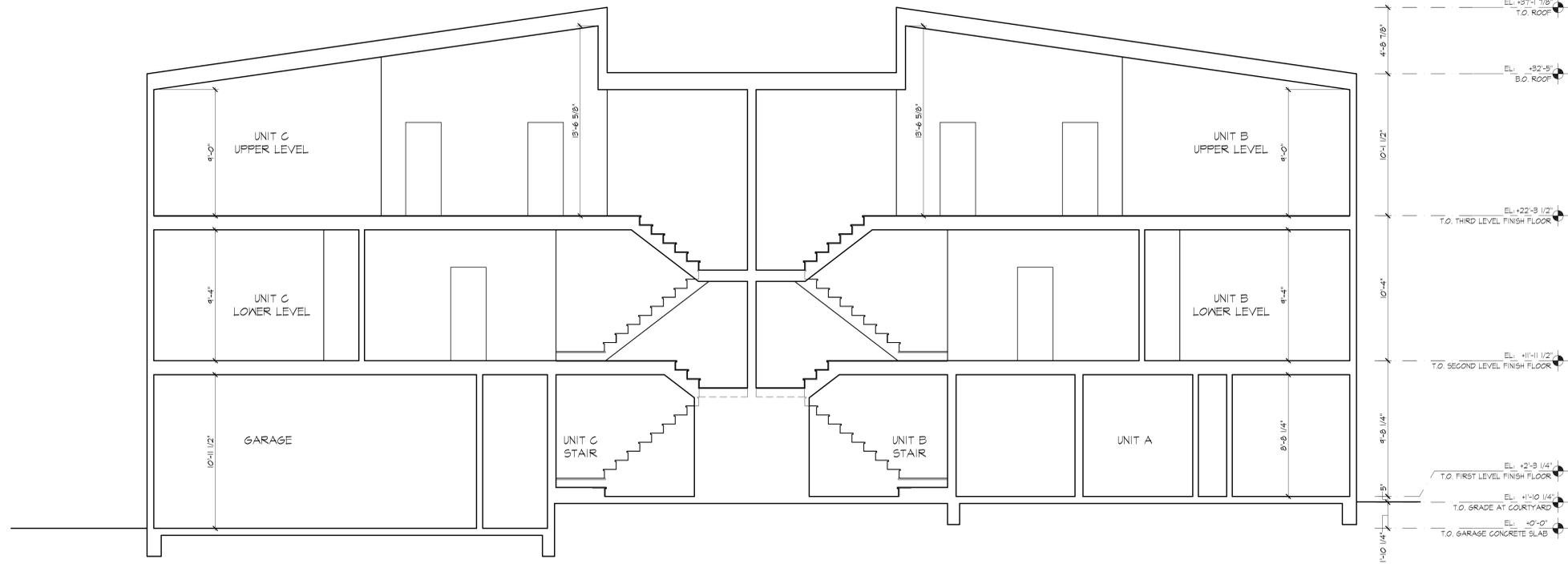
SCALE
1/4" = 1'-0"
0' 4' 8'

SHEET NUMBER

A3.1

KEY NOTES: PROPOSED/ NEW

- 1 3-PLY BUILT-UP ROOFING
- 2 METAL FACIA, PAINTED
- 3 METAL GUTTER, PAINTED
- 4 METAL DOWN SPOUT, PAINTED
- 5 (B) COAT CEMENT PLASTER WITH ELASTOMERIC FINISH COAT
- 6 ANODIZED ALUMINUM WINDOW
- 7 WOOD SIDING, PAINTED
- 8 METAL GATE, PAINTED
- 9 FLAT PANEL WOOD GARAGE DOOR, PAINTED
- 10 PAINTED GAL. METAL GUARDRAIL WITH TEMPERED GLASS PANEL AND WOOD CAP
- 11 ANODIZED ALUMINUM DOOR, PAINTED
- 12 METAL CANOPY
- 13 CONCRETE FOUNDATION WALL
- 14 ANODIZED ALUMINUM DOOR, PAINTED, WITH GLASS LITE
- 15 WOOD POST, PAINTED
- 16 CONCRETE STEPS
- 17 SMALL CONCRETE RETAINING WALL
- 18 METAL AND GLASS ENTRY CANOPY



3 PROPOSED BUILDING SECTION
1/4"=1'-0"

174 6th STREET

174 6th STREET
OAKLAND, CA 94607

JACK BACKUS
ARCHITECTS

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ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	04.04.2016	DESIGN REVIEW
2.	06.10.2016	DESIGN REVIEW REVISIONS 1

SHEET TITLE
PROPOSED NORTH AND SOUTH ELEVATION
(LOOKING FROM COURTYARD)

SCALE
1/4" = 1'-0"



SHEET NUMBER

A3.2



2 PROPOSED SOUTH ELEVATION (LOOKING FROM INSIDE THE COURTYARD)
1/4"=1'-0"



1 PROPOSED NORTH ELEVATION (LOOKING FROM INSIDE THE COURTYARD)
1/4"=1'-0"



6 VIEW OF FRONT FACAD AND EAST SIDE OF BUILDING



3 VIEW OF FRONT FACADE (LOOKING EAST FROM 6TH STREET)



5 VIEW OF EAST SIDE OF BUILDING AND REAR



2 VIEW OF FRONT FACAD (LOOKING WEST FROM 6TH STREET)



4 VIEW OF COURTYARD AND EAST SIDE OF BUILDING



1 VIEW OF FRONT FACADE (LOOKING WEST FROM 6TH STREET)

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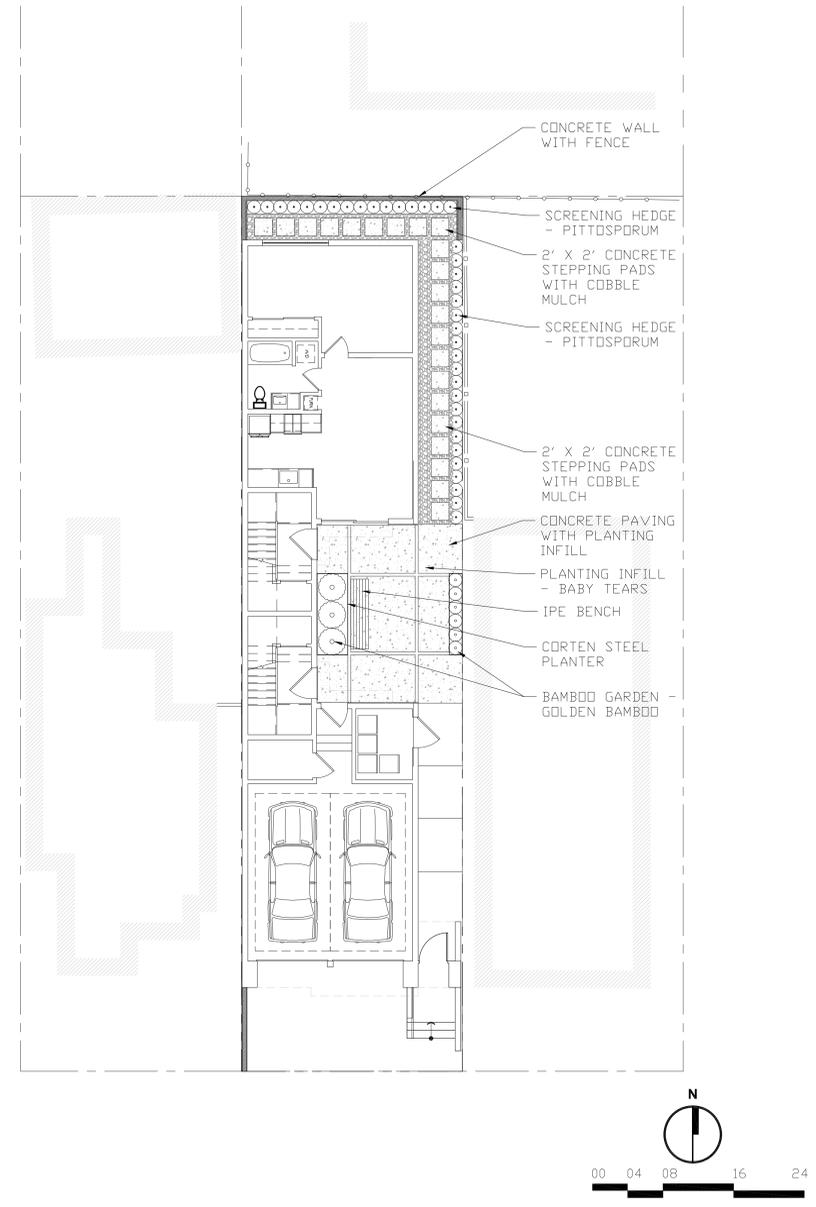
SHEET TITLE
PROPOSED 3D VIEWS

SCALE



SHEET NUMBER

A3.3



6TH STREET

PLANT NAME	COMMON NAME	SIZE
Helxine soleirolii	BABY TEARS	1 gal
Phyllostachys aurea	GOLDEN BAMBOO	15 gal and 5 gal
Pittosporum tenuifolium		15 gal

- LANDSCAPE NOTES**
- All planting areas are to be irrigated with an automatic irrigation system with real time weather tracking or rain / moisture sensors.
 - Planting to be irrigated with point source drip irrigation.
 - Mulch all planting areas.
 - Bamboo to be fully contained with root barriers and/or concrete basin.

174 6th STREET
REMODEL

174 6th STREET
OAKLAND, CA 94607

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ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	03.30.2016	DESIGN REVIEW
2.	06.09.2016	PLANNING RESUBMITTAL

SHEET TITLE
LANDSCAPE PLAN

SCALE
1/8" = 1'-0"

SHEET NUMBER

L0.1