

*Revised* AGENDA

LANDMARKS PRESERVATION  
ADVISORY BOARD  
OAKLAND, CA 94612

**LANDMARKS PRESERVATION  
ADVISORY BOARD MEMBERS:**

Christopher Andrews, Vice-Chair  
Peter Birkholz  
Stafford Buckley  
Eleanor Casson  
Frank Flores  
Valerie Garry, Chair  
Mary E. MacDonald

December 8, 2014  
  
Regular Meeting 6 PM  
City Hall  
Sgt. Mark Dunakin  
Hearing Room 1  
1 Frank Ogawa Plaza  
Oakland, California 94612

*Educate, Advocate, Protect Historic Resources*

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This meeting is wheelchair accessible. To request materials in alternative formats, or to request an ASL interpreter or assistive listening device, contact Betty Marvin at 510-238-6879, bmarvin@oaklandnet.com, or TDD 510-238-3254 at least three working days before the meeting. Please refrain from wearing scented products to this meeting so those with chemical sensitivities may attend.  
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- A. **ROLL CALL**
  
- B. **OPEN FORUM**
  
- C. **APPROVAL OF MINUTES** of November 10, 2014
  
- D. **LANDMARK OF THE MONTH** or other features of interest

**George McCrea House and Indian Campground, 3500 Mountain Boulevard** (Holy Names College campus): Oakland City Landmark #51, LM 81-43, Ord. 10063 C.M.S., May 5, 1981. Presentation by Boardmember MacDonald.

**E. NEW BUSINESS**

**Item 1 withdrawn**

~~1. **Capwell Building (later Sears), 1935-75 Broadway/451-99 20th Street/1934-66 Telegraph Avenue**, survey rating B-a1\*, on Preservation Study List and Local Register, in Uptown Area of Primary Importance.~~

~~Presentation by project architecture firm Gensler on proposed renovation of the Capwell Building. Early feedback requested by the applicant and potential creation of a sub-committee for further discussions. Case planner Peterson Z. Vollmann, (510) 238-6167 or [pvollmann@oaklandnet.com](mailto:pvollmann@oaklandnet.com)~~

<b>2.</b>	<b>Location:</b>	<b>459 8th Street (APN: 001-0201-015-00)</b>
	<b>Proposal:</b>	Proposal for a new five story building containing 50 dwelling units over 4,000 square feet of ground floor commercial on an existing vacant site currently used as a surface parking lot.
	<b>Applicant:</b>	Signature Land Advisors
	<b>Contact Person/Phone Number:</b>	Scott Zengel - (510)251-9278
	<b>Owner:</b>	Broadway Oak Partners LLC
	<b>Case File Number:</b>	<b>PLN14-308</b>
	<b>Planning Permits Required:</b>	Regular Design Reivew for new construction, Minor Variance for height (55'0" allowed; 59'8" proposed), and Tentative Parcel Map for new condominiums.
	<b>General Plan:</b>	Central Business District
	<b>Zoning:</b>	CBD-P, Central Business District Pedestrian Retail Commercial Zone S-7, Preservation Combining Zone
	<b>Historic Status:</b>	Vacant lot
	<b>Service Delivery District:</b>	Metro
	<b>City Council District:</b>	3
	<b>Action to be Taken:</b>	Provide comments to staff regarding the proposed project.
	<b>For Further Information:</b>	Contact case planner <b>Peterson Z. Vollmann</b> at <b>(510) 238-6167</b> or by email: <a href="mailto:pvollmann@oaklandnet.com">pvollmann@oaklandnet.com</a> .

<b>3.</b>	<b>Location:</b>	<b>Children's Hospital and Research Center Oakland (CHRCO)</b> The CHRCO campus is located at 747 52 <sup>nd</sup> Street and is generally bounded by 53 <sup>rd</sup> Street to the north, State Route 24 (SR-24) to the east, and Martin Luther King Jr. Way and the elevated BART tracks to the south and west. APNs: Multiple
	<b>Proposal:</b>	The Project would occur in two phases.  <b>Phase I</b> would (a) demolish one residential building and minor rear yard additions on two residential buildings; (b) construct a six-story, 89,100 sq. ft. Outpatient Center (OPC2) and a 1,100 sq. ft. addition to the existing Central Plant Building; (c) construct a new entrance to the existing parking garage off Martin Luther King Jr. Way; (d) improve landscaping and utilities; and (e) renovate 95,500 sq. ft. within the existing Hospital.

	<p><b>Phase II</b> would (a) demolish one residential building, a modular building, the rear portions of three residential buildings, the B/C Wing, the existing heli-stop structure, the Bruce Lyon Memorial Research Center, the HemOnc Administrative Building and several trailers; (b) construct a two-story, 14,500 sq. ft. Family Residence Building with 12 to 16 residential units; a three-story, 31,300 sq. ft. Clinical Support Building; a five-story, 43,500 sq. ft. Link Building with a heli-stop on the roof; a five-story, 101,000 sq. ft. Patient Pavilion; a 3,800 sq. ft. Central Utility Plant Building; and a four-story, 114,900 sq. ft. parking structure with 334 stalls; (c) acquire and improve 1.5 acres of Caltrans Right-of-Way; (d) improve site access and circulation to 52<sup>nd</sup> Street and Dover Street; (e) improve landscaping and utilities; and (f) renovate 42,342 sq. ft. within the existing Hospital. Full Project build-out would result in 210 beds (increase of 40 on-site), 988 patients and outpatient visitors (increase of 113), 761 inpatient visitors (increase of 157) and 2,371 staff (increase of 205).</p>
<b>Applicant:</b>	Children's Hospital and Research Center Oakland, Doug Nelson
<b>Phone Number:</b>	(510) 428-3066
<b>Owner:</b>	Children's Hospital and Research Center Oakland
<b>Case File Number:</b>	<b>PLN14-170; ER12-0013</b>
<b>Planning Permits Required:</b>	General Plan Amendment; Rezoning; Preliminary Planned Unit Development Permit for Phases 1 & 2; Final Planned Unit Development Permit for Phase 1; Conditional Use Permits to change from residential uses to health care use, demolition of rooming units in the S-1 zone, ground floor exceeding 1,500 sq. ft. of non-residential in the RM-2 Zone, healthcare civic uses in the CN-3 zone, and commercial uses in the S-1 zone; Variance for open facilities; location of bicycle parking and loading berths; Vesting Tentative Map and other possible discretionary permits and/or approvals.
<b>General Plan:</b>	Institutional, Mixed Housing Type, Neighborhood Center
<b>Zoning:</b>	S-1, Medical Center Zone; RM-2, Mixed Housing Type Residential Zone-2; CN-3, Neighborhood Commercial Zone – 3
<b>Environmental Determination:</b>	The Draft Environmental Impact Report (EIR) was published for a 45-day review period from August 7, 2014 to September 22, 2014. The Final EIR is being prepared.
<b>Historic Status:</b>	The A/B Wing (Baby Hospital) on the CHRCO campus is considered a Potentially Designated Historic Property (PDHP) and a CEQA historic resource with a current (revised) rating of B3 by the Oakland Cultural Heritage Survey (OCHS), as confirmed by the Landmarks Preservation Advisory Board (LPAB) on August 12, 2013. The proposal includes several properties within the 55th and Dover Residential District Area of Secondary Importance that are considered PDHPs.
<b>Service Delivery District:</b>	II – North Oakland/North Hills
<b>City Council District:</b>	1 – Kalb
<b>Actions to be Taken:</b>	Receive public and LPAB comments on the design of the Project as it relates to cultural resources.
<b>For Further Information:</b>	Contact project planner <b>Heather Klein</b> at (510) 238-3659 or <a href="mailto:hklein@oaklandnet.com">hklein@oaklandnet.com</a>

**F. OLD BUSINESS**

**G. BOARD REPORTS**

**H. SUB-COMMITTEE REPORTS**

**I. ANNOUNCEMENTS**

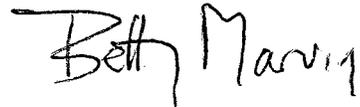
**J. SECRETARY REPORTS**

Mills Act contracts  
Certified Local Government Annual Report

**K. UPCOMING**

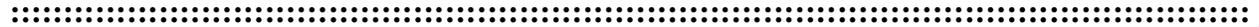
Children’s Hospital Final EIR  
Coliseum Final EIR  
Camron-Stanford House landscape/lighting  
Emerald Views / Schilling Garden  
General Electric plant demolition/mitigation  
Southern Pacific Station, 16th & Wood Streets

**L. ADJOURNMENT**



**BETTY MARVIN**  
**Historic Preservation Planner**

**NEXT REGULAR MEETING:**  
**January 12, 2015**



The Landmarks Board welcomes public comment on all agenda items. The Board requests that speakers limit comments to no more than three minutes. Correspondence received by the Monday prior to the meeting will be included in the Board’s agenda packet.

**Landmarks Preservation Advisory Board**  
**250 Frank H. Ogawa Plaza, Suite 3315**  
**Oakland, CA 94612**  
**Fax 510-238-6538**

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<b>Phone Number:</b>	(510) 428-3066
<b>Owner:</b>	Children’s Hospital and Research Center Oakland
<b>Case File Number:</b>	<b>PLN14-170</b>
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<b>Service Delivery District:</b>	II – North Oakland/North Hills
<b>City Council District:</b>	1 – Kalb
<b>Actions to be Taken:</b>	Receive public and Landmarks Preservation Advisory Board on cultural resource-related design of the Project.
<b>For Further Information:</b>	Contact project planner <b>Heather Klein</b> at (510) 238-3659 or <a href="mailto:hklein@oaklandnet.com">hklein@oaklandnet.com</a>

## **SUMMARY**

The purpose of this report is to provide design review comments for Children's Hospital and Research Center Oakland's (CHRCO) redevelopment of a portion of their hospital campus located at 747 52nd Street. The proposed Project would create new seismically compliant acute care facilities that meet the seismic safety requirements of California Senate Bill (SB) 1953. The redevelopment would occur in two phases and includes the demolition of existing buildings; renovating existing structures; constructing new and replacement hospital facilities and associated infrastructure and redesigning the campus's access points as well as street improvements (See pages 3-6 for Project details). Full Project build-out would result in 210 beds (increase of 40 on-site), 988 patients and outpatient visitors (increase of 113), 761 inpatient visitors (increase of 157) and 2,371 staff (increase of 205).

Staff determined that an Environmental Impact Report (EIR) was required to be prepared for this Project. A Notice of Preparation (NOP) to prepare an EIR was published on July 26, 2013. Public scoping sessions were held before the Landmarks Preservation Advisory Board (LPAB), Bicycle and Pedestrian Advisory Committee, and Planning Commission where staff received comments and direction on what types of information and analysis should be considered in the EIR. The Draft EIR was published for a 45-day review period from August 7, 2014 to September 22, 2014. Public hearings were held before the LPAB on September 8th, the Planning Commission on September 17th, and the now Oakland Bicyclist and Pedestrian Advisory Commission (OBPAC) on September 18, 2014. The Final EIR is currently being prepared.

Staff presented the design of the project to the LPAB on November 18, 2013 and the DRC on November 20, 2013 so that the Project applicant could proceed with the Draft EIR analysis with some assurances regarding the preliminary design of the Project. In general both the LPAB and the DRC provided favorable comments and commended the changes on the project since the scoping sessions; however, both the LPAB and DRC suggested the Project applicant further explore design changes along the west side of MLK Jr Way, assuring quality design of the Family Residence Building, Link Building, Patient Pavilion and new parking garage, relocation of the house at 5204 MLK Jr. Way and maintaining the existing character of the neighborhood.

Given the number of public comments during the Draft EIR hearings regarding the Project entitlements and design, staff is interested in obtaining further design comments. Based on these comments, the applicant will have the opportunity to consider alteration or revisions to prior to certification of the EIR and a decision on the Project. Staff is especially interested in comments from the LPAB pertaining to the massing, height, forms and character of the Project as it pertains to historic resources.

Staff has identified the following key design issues of the Project which affect cultural resources for discussion: the house at 5204 MLK Jr. Way, design of the Patient Pavilion and the Link Building in relation to the A/B Wing, the Family House and the Clinical Support Building. These issues are outlined in more detail in the *Key Design and Planning Issues* section of the report.

## **BACKGROUND**

### **Existing Conditions**

The approximately 11-acre CHRCO campus is generally bounded by 53rd Street to the north, State Route 24 (SR-24) to the east, and Martin Luther King Jr. Way and the elevated BART tracks to the south and west. The campus is an existing, approximately 459,850 sq. ft. hospital with 190 beds, 170 of which are located at the main campus and 20 of which are located off-site.

**Surrounding Area**

The CHRCO campus is surrounded by residential uses with some neighborhood serving commercial uses to the north, residential uses and the elevated BART tracks to the south and west, and State Route 24 off-ramp, right-of-way and freeway to the south and east. The one and two-story residential buildings to the north are located within the 55th and Dover Street historic district. This district is designated an Area of Secondary Importance per the Oakland's Cultural Heritage Survey (OCHS). In addition, Children's Hospital owns one parking lot (west-lot) with 182 striped spaces across MLK Jr. Way, which is used for employee parking.

**General Plan and Zoning Analysis**

The main hospital area, which includes the 1982 Tower and the D&T Building, is designated Institutional in the Land Use and Transportation Element (LUTE) of the General Plan. The Institutional classification is intended to "create, maintain and enhance areas appropriate for educational facilities, cultural and institutional uses, health services and medical uses as well as other uses of similar character." The maximum allowable Floor Area Ratio (FAR) is 8.0. The zoning of the site is S-1 Medical Center.

The areas across Dover Street and 53rd Street are in the Mixed Housing Type General Plan designation. The Mixed Housing Type classification is intended to "create, maintain, and enhance residential areas typically located near the City's major arterials and characterized by a mix of single family homes, townhomes, small multi-unit buildings, and neighborhood businesses where appropriate." The Mixed Housing Type classification does not have a FAR requirement. The zoning of this portion of the site is RM-2 Mixed Housing Type Residential Zone -2.

The hospital also owns property at the corner of MLK Jr. Way and 53<sup>rd</sup> Street (770 53<sup>rd</sup> Street). This property is used for medical service activities and has a parking lot with nine stalls accessed from 53<sup>rd</sup> Street. This area is designated as Neighborhood Center in the LUTE. The Neighborhood Center classification is intended to "identify, create, maintain, and enhance mixed use neighborhood commercial centers." The maximum allowable FAR is 4.0. The zoning is CN-3 Neighborhood Commercial Zone - 3.

**PROJECT DESCRIPTION**

**Proposed Project**

Children's Hospital has submitted a Master Plan proposal to create new seismically compliant acute care facilities which meet the seismic safety requirements of SB 1953, provide individual patient rooms, as opposed to the current ward conditions, for the Pediatric Intensive Care and Neo-Natal Intensive Care Units, and expand and renovate the existing buildings and property to increase hospital services given the development constraints on the campus. The proposed Project would be constructed in two phases. Phase 1 would demolish 1,541 sq. ft., construct 90,200 sq. ft. and renovate 95,550 sq. ft. Phase 2 would demolish 65,041 sq. ft., construct 309,000 sq. ft. and renovate 42,340 sq. ft. (See Attachment A for a table that compares each phase and total build-out to existing conditions.)

**Phase 1**

Phase 1 includes:

- Demolition of a 1,041 sq. ft. residential building at 5204 Martin Luther King Jr. Way (currently owned by CHRCO and used as offices) south of the existing parking garage.

- Relocation of the main existing parking garage entrance and exit from 52<sup>nd</sup> Street to Martin Luther King Jr. Way to facilitate construction of the Outpatient Center 2 (OPC2) building. Both the entrance and exit would be right-in/right-out only; however, vehicles could also make a right turn only onto 52<sup>nd</sup> Street. To accommodate the new entrance/exit and queuing inside the existing garage, seventeen parking spaces would be removed. New bicycle parking would be located within the existing garage.
- Construction of the six-story, 89,100 sq. ft. OPC2 building adjacent to and with a direct connection to the existing OPC1 building and existing parking garage. The OPC2 building would provide space for outpatient clinical visits or treatment not requiring an overnight stay in the hospital. The first floor of the OPC2 building would include fifteen parking spaces for emergency department patients. The floors above would include exam rooms, treatment rooms, procedure rooms, occupational therapy rooms, physician offices, cubicles, clinical lab and associated space including waiting rooms, reception areas, conference rooms, and break rooms. To facilitate compliance with SB 1953 on the main campus, the following departments will be relocated to OPC2: Outpatient Rehabilitation, Cardiology, Pediatric Surgical Associates, Urology, Neurology, Neurosurgery, Laboratory and Facility Design and Construction.
- Demolition of minor rear yard additions (approximately 500 sq. ft.) at 707 and 715 53<sup>rd</sup> Street to accommodate a new driveway off of Dover Street to the existing maintenance area adjacent to the existing parking structure and OPC1.
- Construction of a 1,100 sq. ft. addition at the existing Central Utility Plant to accommodate the installation of two 750-ton water cooled chillers with two draft cooling towers. Additional mechanical improvements to the heating, ventilating and air conditioning systems would occur under Phase 1 to serve the renovated areas.
- Renovation of 95,500 sq. ft. of interior hospital space including: the Pediatric Intensive Care Unit, Neo-Natal Intensive Care Unit, Surgery/Post-Anesthesia Care Unit, Pharmacy, Central Sterile Processing Department, Morgue, Private Branch Exchange, Environmental Services, Inpatient Rehabilitation and Medical/Surgery Beds and Endocrinology.
- Removal of nineteen trees, preservation of seven trees and the installation of new native landscaping and bio-filtration planting areas around the OPC2 building.
- Construction of water, sanitary sewer, storm drains and other utility and infrastructure improvements.

Phase 1 would reduce the on-site hospital beds from 170 to 140 (a loss of thirty beds) as a result of interior renovations. CHRCO would increase the number of off-site beds from twenty to forty beds. Two parking spaces would be lost during Phase 1 as a result of the construction of fifteen spaces on the ground floor of the OPC2 building and the loss of seventeen parking spaces in the existing garage. Total Phase 1 Project construction is anticipated to take approximately 58 months (2015-2020).

**Phase 2**

Phase 2 includes:

- Acquisition of approximately 1.5 acres of right-of-way from Caltrans, adjacent to SR-24 to facilitate construction of the Clinical Support Building, and the parking structure. Improvements to the area would also include grading and construction of a series of retaining walls to retain the slope.
- Demolition of the 2,253 sq. ft. residential building at 5212 Dover Street, the 2,800 sq. ft. modular office building at 665 53<sup>rd</sup> Street, and the rear portions of the residential buildings at 671-679 53<sup>rd</sup> Street.
- Construction of a 14,500 sq. ft. Family Residence Building behind the front facades of 671-679 53<sup>rd</sup> Street and connected to the existing Family House. The Family Residence Building will be approximately two stories (33' tall) and provide twelve to sixteen rooming units for families of children in the hospital.
- Relocation of two residential buildings at 688 and 682 52<sup>nd</sup> Street east of the Family Residence Building. These structures will continue to be used as hospital office space.
- Construction of the 3-story (40' tall), 31,300 sq. ft. Clinical Support Building at the corner of 52<sup>nd</sup> and Dover Street to house administrative and hospital support services. This building will include departments and operations currently located in the B/C Wing and temporary trailers.
- Demolition of the 33,510 sq. ft. B/C Wing, temporary trailers on the main campus, the 12,570 sq. ft. Bruce Lyon Memorial Research Laboratory, and the 4,500 sq. ft. Oncology Offices.
- Construction of the five-story, 43,500 sq. ft. Link Building between the existing 1982 Tower and the proposed Patient Pavilion. The Link building will include space for Material Management, Facility Planning, Family Resources and other departments currently housed in temporary trailers or other locations on campus.
- Relocation and construction of a new 24-hour emergency heli-stop on the roof of the Link Building. The heli-stop will consist of a 2,100 sq. ft. raised pad marked by an "H" and surrounded by a safety net and required lighting per Federal Aviation Administration guidelines. The heli-stop will be used for trauma patients or hospital transfers.
- Construction of the five-story, 101,000 sq. ft. Patient Pavilion adjacent to the Link Building. The Patient Pavilion would provide acute care facilities including medical/surgery beds.
- Construction of a 3,800 sq. ft. Central Utility Plant to accommodate the Phase 2 construction and renovations. The building would include a new emergency water holding tank, emergency waste tanks and underground storage tanks to provide 72 hours of fuel to the emergency generators.
- Construction of a four-story, 334 space parking structure between the Patient Pavilion and SR-24 for employees and visitors.
- Renovation of 42,340 sq. ft. within CHRCO including the Emergency, Radiology and Surgical Magnetic Resonance Imaging (MRI) departments.
- Improvements to circulation and hospital access including the existing hospital emergency drop-off, shuttle parking and ambulance parking as well as CHRCO owned portion of Dover Street south of 52<sup>nd</sup> Street to provide access to the parking garage and a drop-off area in front of the

Patient Pavilion. Other improvements include restriping of 52<sup>nd</sup> Street to provide one through-lane and a new Class 2 bicycle lane in each direction between Martin Luther King Jr. Way and Dover Street.

- Removal of 89 trees, preservation of 36 trees and the installation of new native landscaping and bio-filtration planting areas around the Family Residence Building, existing and proposed hospital entrance, Central Utility Plant, parking structure and 52<sup>nd</sup> Street.
- Construction of water, sanitary sewer, storm drains and other utility and infrastructure improvements to serve Phase 2 construction. The existing PG&E underground duct bank will be relocated to the southern area of the campus.

Full build-out of the Project (Phase 1 and 2) would result in approximately 210 beds (increase of 40 on-site), 988 daily patients and outpatient visitors (increase of 113), 761 daily inpatient visitors (increase of 157) and 2,371 daily staff (increase of 205). In addition, the proposed Project would include a total of 1,373 parking spaces on-site and on adjacent off-site lots (increase of 286). Total Phase 2 Project construction is anticipated to take approximately 60 months (2020-2025). An outdoor farmer's market is included in the proposal on the sidewalk in front of the OPC1 building.

### **Design of the Campus**

The design of the Master Plan proposes to unify the campus by incorporating façade materials from the existing buildings and adding new elements from the proposed structures to existing structures. The OPC2, Link Building and Clinical Support Building grade/pedestrian levels are clad primarily in brick. Light colored, neutral plaster walls are punctuated by windows in an ordered pattern, with some windows bordered by colored frames. This strategy of incorporating textures and coloration of the existing A/B Wing and Outpatient buildings aids in stitching together both the campus proper and the surrounding neighborhood. Upper floors of the OPC2, Patient Pavilion, existing D&T Wing and Patient Tower will use glass and metal panels to bring a sense of color to their glazed areas.

### **KEY DESIGN AND PLANNING ISSUES**

#### **Background**

Since the LPAB saw the proposed Project in November of 2013, several aspects of the proposed Project were changed with input from the LPAB, DRC and the community. These changes included moving OPC2 and the garage entrance to MLK Jr. Way, relocating two houses along 52<sup>nd</sup> Street to 53<sup>rd</sup> Street as part of the Clinical Support Building construction and removing the second helistop and relocating the helistop to the Link Building. However, the LPAB, Planning Commission, community and City staff still have concerns with the proposed project. (See Attachment B regarding City staff's letter regarding the design of the Project as submitted in May of 2014.)

Staff has identified the following key design issues of the Project which affect cultural resources for discussion: the house at 5204 MLK Jr. Way, design of the Patient Pavilion and the Link Building in relation to the A/B Wing, the Family House and the Clinical Support Building.

#### **Phase 1**

House at 5204 MLK Jr. Way

Staff received comments on the Draft EIR supporting relocation of the house at 5204 MLK Jr. Way.

*City Staff Comments and Recommendation:* As noted in the November 18, 2013 staff report, the City is supportive of the Project applicant's changes retaining most of the residential structures. However, staff would prefer the residential structure at 5204 MLK Jr. Way also be relocated instead of being demolished. This would be consistent with Historic Preservation Element Policy 3.7 which requires that existing or Potential Designated Historic Properties be relocated or offered for relocation prior to demolition. City staff continues to recommend relocation of this building, pursuant to Policy 3.7.

## **Phase 2 Building Character**

### Patient Pavilion, Link Building, and the A/B Wing

City staff received comments on the Draft EIR concerned with the design of the Patient Pavilion and the Link Building in relation to the historic A/B Wing. Commenters also requested that the third bay window on the B/C Wing which mimics the bays on the A/B Wing be retained.

*City Staff Comments and Recommendation:* In the City's May 17, 2013 pre-application design review comments, staff requested that the Project applicant investigate the possibility of retaining the third solarium bay. However, staff noted later in the November 18, 2013 LPAB report that retention of the third bay would require a narrower Link Building which would be unable to support the heli-stop at this location. Specifically, the floor plate of the Link Building would be reduced by approximately 30'. The LPAB did not have comments related to the retention of the third bay window. Staff supports the removal of the bay window and location of the helistop in this location.

At the November 18, 2013 LPAB meeting, City staff and the LPAB expressed concerns with how the Link Building would relate architecturally to the historic A/B Wing and the more modern Patient Pavilion. Previous renderings had depicted an abrupt change between the glassier Link Building and the brick A/B Wing (See Attachment C page B3.00 and B3.01). In past projects, where a more modern structure is being proposed next to a historic structure, the LPAB and City staff recommended that the new structures relate to but be distinctly different than the historic structure. Staff recommended that the Link Building take cues from the A/B wing's proportions, solid to void space, materials, ornamentation and reinterpret them in modern way.

The Project applicant has continued to revise the design of the Link Building (Attachment D page 20). The façade now provides the visual link that staff was expecting. Specifically, the base of the building continues to be brick and the portion that houses the new exit stair is now also brick-clad. The windows are steel or aluminum-sash and have similar multi-light, vertical proportions as those on the A/B Wing. In addition, the Project applicant is proposing to retain the terracotta frieze and decorative medallions from the B/C Wing and include those on the exit stair tower and below the windows. The Patient Pavilion design incorporates the glazing and mullion pattern from the Link Building (Attachment D page 18-22). Staff has no further concern with the preliminary design of the Link Building or the Patient Pavilion. However, design development should continue for both buildings as part of the Final Planned Unit Development permit for Phase 2.

### Family House

City staff received comments on the Draft EIR regarding the design of the Family Residence Building and the relationship between the existing facades of 671-679 53<sup>rd</sup> Street to remain and the proposed new construction behind these facades. As noted in the Draft EIR, the two properties located at 671 and 675

are located within the 55th and Dover ASI and are historic resources under CEQA. The structure at 679 53<sup>rd</sup> Street is not located within the ASI and is not considered a historic.

*City Staff Comments and Recommendation:* At the November 18, 2013 LPAB meeting staff was concerned with how three buildings with different architectural styles, materials, heights, and rooflines would be connected and how the side facades will look from the streets. City staff also recommended that as much of the side facades of the buildings at 671 and 679 53<sup>rd</sup> Street be kept as possible before the new building is constructed behind it. Furthermore, the new additions should not try to mimic the historic context but take cues from the buildings' proportions, solid to void space, etc.

The Project applicant has continued design development of the new Family Residence Building and City staff is generally supportive of the current massing and the roofline (Attachment D page 23). However, as design development continues as part of the Final Planned Unit Development permit for Phase 2 and per the City's letter dated October 23, 2014, renderings and elevations should clearly show what is occurring with the stairs and garage elements. All historic details of the facades should be retained.

#### Clinical Support

Staff received comments on the Draft EIR expressing concern over the height and massing of the Clinical Support Building in relation to the 55<sup>th</sup> and Dover Residential District and the residential neighborhood north of 53<sup>rd</sup> Street.

*City Staff Comments and Recommendation:* City staff understands the community's concerns regarding the height and massing of this building and the desire to keep it lower in scale. However, as shown in the Draft EIR, the Clinical Support Building is not located within the 55th and Dover ASI or directly adjacent to the residential neighborhood. The Clinical Support Building would be located behind the existing Family House and the proposed Family Residence Building. In addition, the height of the Clinical Support Building (3 stories- 40') is consistent with the proposed OPC2 (6 stories-79'), existing OPC1 (5 stories), Patient Tower (5 stories), and the D&T Building (3 stories). The massing of the Clinical Support Building is also similar to the existing hospital buildings along 52<sup>nd</sup> Street.

Staff is supportive of the height and massing of the building given the similar hospital development already located along the street. The Hospital has responded to staff's preliminary design concerns as noted in the City's letter dated October 23, 2014. Specifically, the building now has a more defined brick base and the Dover Street massing is reduced through the incorporation of a larger glass element (Attachment D page 24). However, design development should continue and be improved as part of the Final Planned Unit Development permit for Phase 2.

#### **CONCLUSION**

The purpose of this report is to provide design comments related to cultural resources with the benefit of the environmental analysis completed as part of the Draft EIR and further project design details. City staff is generally supportive of the design of the Project with incorporation of our comments listed in the report.

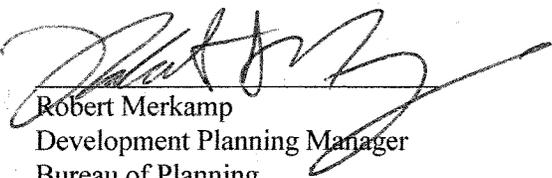
**STAFF RECOMMENDATION**

Staff recommends that the LPAB take public testimony and provide LPAB comments on the design of the Project and specifically provide direction on the items in the staff report related to cultural resources.

Prepared by:

  
\_\_\_\_\_  
Heather Klein  
Planner III

Approved for forwarding to the  
Landmarks Preservation Advisory Board:

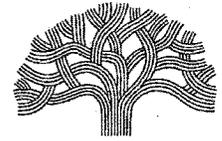
  
\_\_\_\_\_  
Robert Merkamp  
Development Planning Manager  
Bureau of Planning

**ATTACHMENTS:**

- A. Table comparing the proposed Project to existing conditions.
- B. City's Design Comments, dated October 23, 2014
- C. Project Plans, dated November 1, 2013
- D. Revised Project Plans

	Existing	Proposed Increase Phase 1	Campus total with Implementation of Phase 1 (Existing + Phase 1)	Proposed Increase Phase 2	Proposed Increase Phase 1 + Phase 2	Campus total at Build-out (Existing + Phase 1 + Phase 2)
Site Acres	11.0	—	11.0	1.5	1.5	12.5
Demolished Building Area		(1,541)		(65,041)	(66,582)	
New Building Area		90,200		309,000	399,200	
Net Building Area (sq. ft.)	692,416	88,659	781,075	243,959	332,618	1,025,034
Removed Parking Spaces		(17)		(48)	(67)	
New Parking Spaces		15		334	349	
Net Parking Spaces	1,107	(2)	1,105	286	284	1,391
On-Site Hospital Beds (#)	170	(30)	140	70	40	210
Off-Site Hospital Beds (#)	20	20	40	(40)	(20)	0
Patients and Outpatient Visitors (daily)	875	43	918	70	113	988
Hospital (Inpatient) Visitors (daily)	604	0	604	157	157	761
Total Staff (daily)	2,166	25	2,191	180	205	2,371

# CITY OF OAKLAND



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA, SUITE 2114 • OAKLAND, CALIFORNIA 94612-2032

Department of Planning and Building  
Zoning Division

(510) 238-3911  
FAX (510) 238-4730  
TDD (510) 238-3254

October 23, 2014

Doug Nelson  
Director of Facilities Development & Construction  
UCSF Benioff Children's Hospital Oakland  
747 52<sup>nd</sup> Street  
Oakland, CA 94609

**RE: The Bureau of Planning's preliminary design comments on Children's Hospital and Research Center Oakland (CHRCO) Master Plan Application**

Dear Mr. Nelson,

Oakland City Planning staff has completed their review of the CHRCO Master Plan application materials submitted on May 2, 2014. The City's comments are listed below including our previous comments from the May 17, 2013 letter which are still outstanding.

## **APPLICATION COMPLETION**

The application was considered incomplete on X. In order to consider the application complete, please submit the following information.

1. Variance finding forms completed for the following permits:
  - a) Variance for open facilities (Farmer's Market) in the S-1 Zone (staff has determined that a Variance not a Conditional Use Permit is the most appropriate permit for this facility)
  - b) Variance for Family Residence Building parking
  - c) Variance for Bike Parking location (special findings)
  - d) Variance for Bike Parking spaces for the Family Residence Building
  - e) Variance for number of loading berths and dimensions for loading areas.
2. Proposed location and character of signage for Phase 1
3. **The fees for the requested permits listed below total \$128,189.55**
  - a) General Plan Amendment for CHRCO site to Institutional
  - b) Rezoning of CHRCO site to S-1
  - c) PUD permit / FPUD for OPC2
  - d) Conditional Use Permits
  - e) Variances, and
  - f) Two Tentative Tract Map Applications

**ATTACHMENT B**

## GENERAL COMMENTS

4. The Planning Department continues to oppose the option that Dover Street be vacated. This disrupts the existing street pattern, increases traffic along 52nd Street, and decreases pedestrian safety for visitors needing to cross the street.

## PHASE 1 DESIGN COMMENTS

### OPC2

5. In our May 13, 2014 letter, Planning staff noted that "There needs to be a new visually interesting main entrance to the OPC buildings. It is not ideal that patients would park on the ground floor, as that is reserved for emergency uses, and then take the elevator up to the 2nd Floor." The revised plans have not been revised to reflect this comment. To be more specific: All buildings should have a clearly defined pedestrian entrance and this building does not. The building is oriented inward and is designed around the automobile and parking garage instead of the pedestrian. The facades of the building should orient you to the entrance. Currently, all elements of the design, including the tilted glass curtain wall and the large signage on the steel canopy, point to the corner as the entrance. The eye is drawn actually not to the glass curtain walls but to the stucco area between. There should be some flow around the corner to invite pedestrian down the street and pedestrians to the hospital campus entrance. The recess element adjacent to OPC1 further deemphasizes and hides the entrance to the building.

### Staff recommendation:

- a) The building needs a clear and identifiable pedestrian entrance. This requirement can be accomplished in many architectural ways such as the addition of a screen, atrium, parapet, or some vertical element adjacent to the OPC1 which will fill the recess, denote the entrance as a focal point and provide a unifying element to tie OPC1 and OPC2 together.
  - i. In lieu of a vertical element, another option would be to provide a canopy or some other prominent, entrance-defining element that is integrated into the building design, extends out to the street, and is visible enough to allow for signage which directs pedestrians to the building.
  - ii. Any entrance element needs to be more prominent than the parking garage entrance. In order to accomplish this, the entrance element should extend into the garage and align with the elevator waiting area and the crosswalk to the Hospital's Emergency Department to create a direct path of travel for the pedestrian. In addition, the garage entrance should be moved toward MLK to provide as much of an entrance area as possible. This might require reducing the travel lanes into the garage, possible loss of an emergency vehicle parking space and relocation of the traffic signal. The proposed second pedestrian entrance into the garage flanking the driveway should be removed to accommodate relocation of the parking garage entrance toward MLK. In addition, the actual entrance to the building in OPC1 should be closer to the street which might require interior alterations on the ground floor of OPC1. There should be a wall or other architectural separation between the garage and the pedestrian entrance, not just bollards or a curb.
- b) Currently the building has multiple planes that don't seem to relate to each other in material, pattern or scale. The glass curtain walls should be used as the element that break

up the overall building mass. These features should be integrated into the design not just adhered to the side of the building. This is especially important detail when the planes of the building are viewed from the side. Further consideration should be given to the building plane corners and how different materials intersect.

- c) The yellow stucco plane on the stair tower should be changed to brick. The brick façade should be used equally with the colored glass panels as identifying architectural elements for the Master Plan. The stucco portions should recede in the design hierarchy.
  - d) Instead of the boxes around the windows, recessed colored glass panels should be considered. This would tie the glass curtain walls to the stucco building planes.
  - e) If the emergency parking garage design does not include a wall or other architectural separation between the garage and the pedestrian entrance as noted above, the garage's ceiling should be finished out to provide a more a port-cochre style design than a typical parking lot. All lighting should be pointed downward and either conical or recessed with no blub exposure. Light should be a warm not a cool light.
  - f) The 1st floor of OPC2 should include continue the brick base around the rest of the building with a green screen, art or other decorative panels above. The garage shall not be completely open.
  - g) The steel canopy should tie into pedestrian entrance and be used as another visual cue to the location of the entrance. This feature should be integrated into the building design.
  - h) The stucco exterior stairwell along MLK should have metal railings so that people can see into the stairwell area from the street.
6. In our May 13, 2014 letter, Planning staff noted that "There should be some active ground floor uses in the OPC2 building." This comment was echoed by a commenter on the Draft EIR. Although Staff understands that ground floor commercial cannot be accommodated within the emergency department parking area, this doesn't mean that the pedestrian environment should be unpleasant. The applicant should revise the plans to reflect the comments in this letter regarding the pedestrian experience.

#### Central Utility Plant

7. The campus design turns its back on MLK, placing all back of house operations along this important street front. The Hospital should improve the pedestrian experience along this street frontage.

#### Staff recommendation:

The Central Utility Plant design should provide additional interest to the pedestrian. The parapet should entirely enclose the cooling towers. The louvers or screen should be decorative enough to provide interest and compliment the Patient Pavilion behind the plant. Art, brick, or decorative panels along the base would tie the Plant to the other buildings on campus. If stucco must be used, the expansion joints should be used to provide break down the mass, provide a clear shadow line and additional interest to the building in the same way glass is used on the OPC2 and Patient Pavilion. The Plant should be designed to minimize noise along the sidewalk. The medical gas storage building should be located away from the sidewalk and additional bio-retention plantings with trees to screen the Plant should be installed.

Landscape

8. The streetscape design with the landscaping, trees, and bio-retention near the building is suburban in nature.

Staff recommendation:

The planting and sidewalk design should be oriented toward the pedestrian experience and encourage people to walk and bike along 52<sup>nd</sup> Street and MLK. On 52<sup>nd</sup> Street, City staff recommends a 12' streetscape width with 5' for street trees and bio-retention plantings or rain gardens along the edge of curb and gutter. A 7' sidewalk area should be located behind the bio-treatment zones with a "right to pass" public easement. Additional landscaping behind the sidewalk should be low. The ADA ramps should line up with the sidewalk. On MLK, the sidewalk should not jog but continue straight to the intersection. Street trees shall be located adjacent to the sidewalk with bio-retention areas as well as areas for bus stop waiting zones. Storm water treatment areas should be included along the edge. Bollards or very low decorative fencing must be installed to protect landscaped areas from pedestrians. As street trees will be replaced and the sidewalk will likely also be replaced, the same street scape design should continue along OPC1.

9. Redwood trees are not suitable for storm water treatment.

Staff recommendation:

Magnolias are a more suitable tree for storm water management areas than redwoods. In addition, magnolias are on the approved City of Oakland street tree list. The planting plan should be revised to reflect uniform street tree placement adjacent to the sidewalk and the inclusion of magnolia trees within the planting design.

10. Staff is not supportive of the proposed landscape screen as this provides an area for people to hide behind.

Staff recommendation:

The garage should have a brick or glass base with decorative metal grills, louvers, or a green wall over the openings to screen vehicles, promote safety adjacent to the garage and prevent people from walking through landscaping to the sidewalk area.

**Phase 2 Design Comments**

Below are staff's general comments on the streetscape and massing and height of buildings in Phase 2. Detailed design comments will be provided once the applicant submits a Final Planned Unit Development Permit for these buildings.

11. Renderings and elevations of the Family House should clearly show what is occurring with the stairs and garage elements. Design work should continue on the roof line connections.
12. The Patient Pavilion and Link Building should take more cues from the existing A/B Wing in terms of ornamentation and window to brick proportions.

13. The Clinical Support Building should have a more defined base. Using brick and a glass curtain wall, which are architectural treatment throughout the campus Master Plan, would help to unify all the buildings on the campus. The building façade along Dover Street needs to be broken up to reduce the mass of the building. Staff would recommend incorporating another larger glassy area along this façade. Staff would also recommend stepping the building back away from the smaller residential uses to the north.
14. All Central Utility Plant equipment in Phase 2 should be located behind decorative screens. The bay should be reduced in width as to not be so prominent from the BART and street. Loading areas should be minimized and additional landscaping installed.
15. The entire frontage along the Hospital and the parking lot area including MLK should be re-landscaped and beautified. The meandering path to the new Hospital entrance should be straight. Additional planting areas should be located within the pavers in front of the Patient Pavilion. Trees should be planted adjacent to the proposed parking garage. Additional landscaping should be proposed along on the three lots on 53rd Street adjacent to the existing parking garage.

Sincerely,



Heather Klein  
Planner III

cc:

Robert Merkamp, Bureau of Planning

HDR

400 Michigan Street, Suite 1000, San Francisco, CA 94105  
Consultants

TAYLOR

TAYLOR (Design Architect)

1230 Park

Irvine, CA 92614

SANBOS (Civil Engineer)

278 9th Street

Oakland, CA 94612

CARBONIA ASSOCIATES (Landscape Architect)

555 Beach Street, 4th Floor

San Francisco, CA 94133

Owner

Children's Hospital &  
Research Center Oakland

747 Grand Street, Oakland, CA 94609



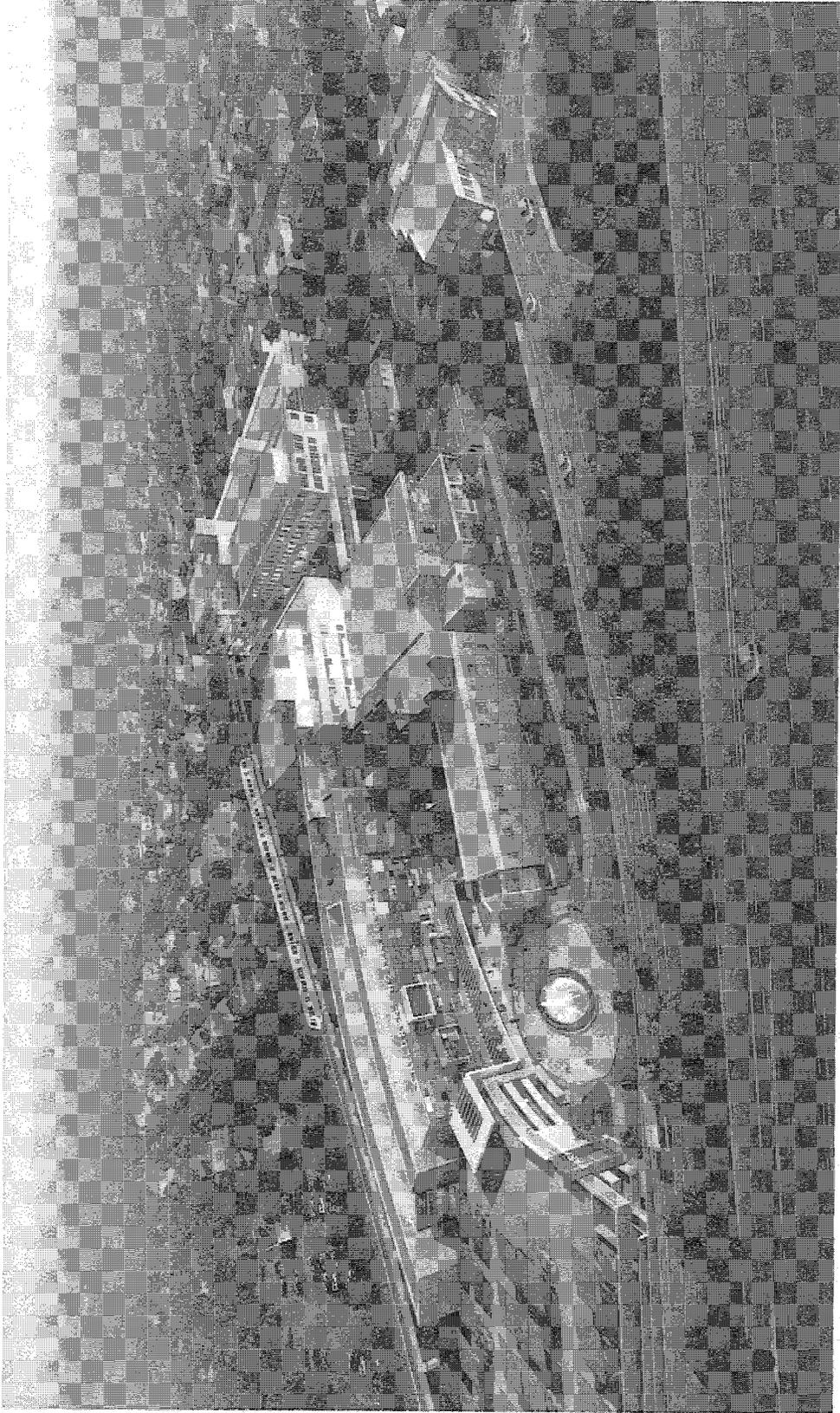
CHILDREN'S HOSPITAL  
& RESEARCH CENTER OAKLAND

Submittal

Entitlements

Design Review

November 1, 2013



COVER SHEET

ATTACHMENT C











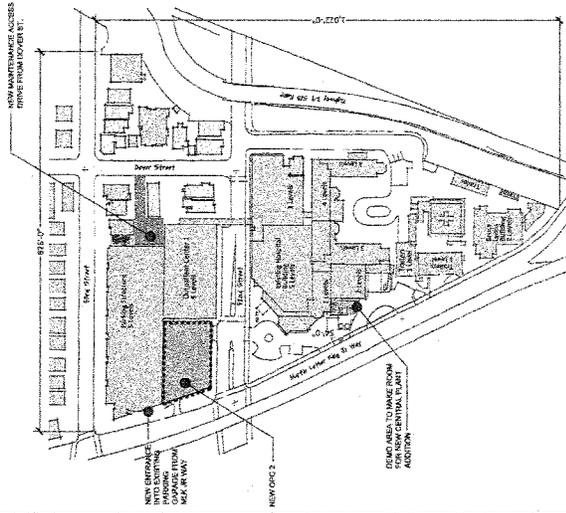
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 CONSULTANTS



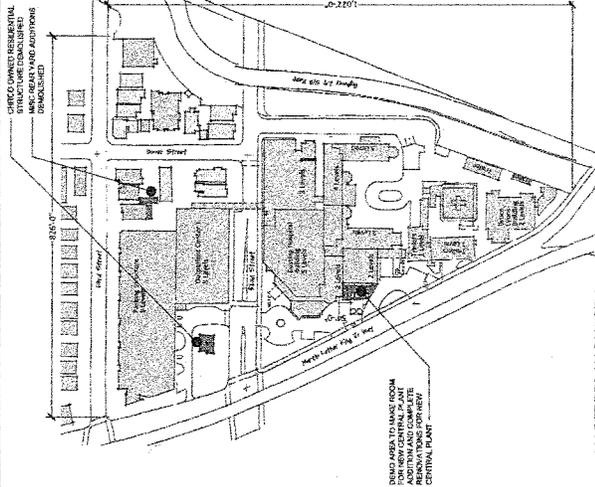
**TAYLOR** (Design Architect)  
 1750 Fish  
 Irvine, CA 92614  
**SANDS** (DM) (Engineer)  
 8000 Wilshire Blvd  
 Culver City, CA 90230

**CARDUCCI & ASSOCIATES** (Landscape Architects)  
 855 Beach Street, 4th Floor  
 San Francisco, CA 94133

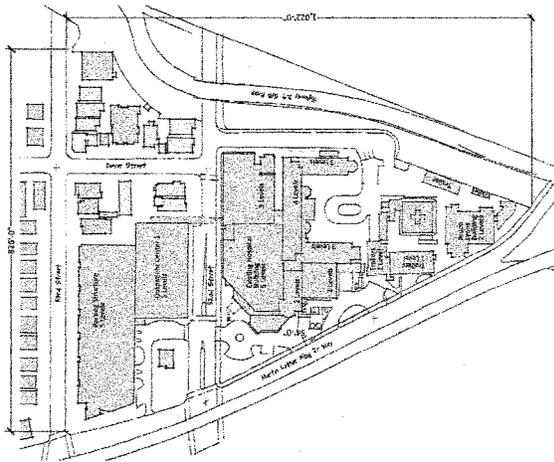
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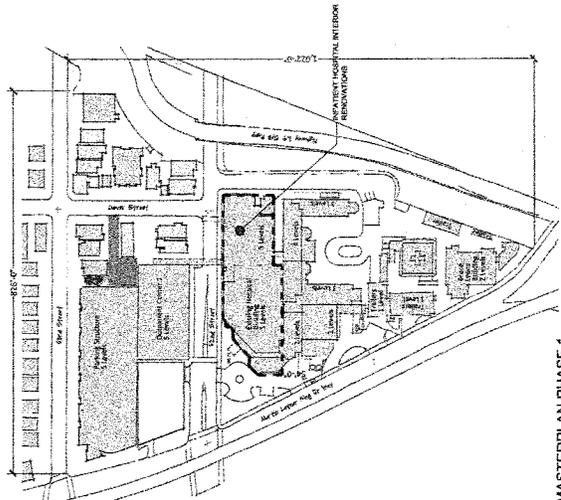
MASTER PLAN PHASE 1  
 SEQUENCE 1B: NEW CONSTRUCTION  
 NTS



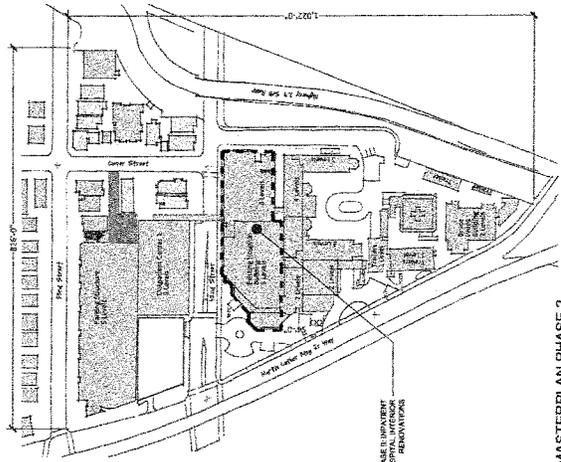
MASTER PLAN PHASE 1  
 SEQUENCE 1B: DEMOLITION  
 NTS



EXISTING SITE PLAN  
 NTS



MASTER PLAN PHASE 1  
 SEQUENCE 1C: RENOVATION  
 NTS



MASTER PLAN PHASE 2  
 SEQUENCE 2A: RENOVATION  
 NTS

Entitlements  
 Design Review

**SEQUENCE 1B: NEW CONSTRUCTION**  
 Phase 1 is to include the Emergency Department, Radiology Imaging, and the new IMC.

**SEQUENCE 1B: DEMOLITION**  
 Demolition of existing structures to be replaced with new construction.

**SEQUENCE 1C: RENOVATION**  
 Renovation of existing hospital buildings to meet current standards.

**SEQUENCE 2A: RENOVATION**  
 Renovation of existing hospital buildings to meet current standards.

Master Plan Phase 1

**SEQUENCE 1B: NEW CONSTRUCTION**  
 Phase 1 is to include the Emergency Department, Radiology Imaging, and the new IMC.

**SEQUENCE 1B: DEMOLITION**  
 Demolition of existing structures to be replaced with new construction.

**SEQUENCE 1C: RENOVATION**  
 Renovation of existing hospital buildings to meet current standards.

**SEQUENCE 2A: RENOVATION**  
 Renovation of existing hospital buildings to meet current standards.

Master Plan Phase 2

**SEQUENCE 1C: RENOVATION**  
 Renovation of existing hospital buildings to meet current standards.

**SEQUENCE 2A: RENOVATION**  
 Renovation of existing hospital buildings to meet current standards.

Master Plan  
 Phasing Diagram

SCALE	NTS
<b>G0.02</b>	Schematic Design

NO.	DATE	DESCRIPTION
1	05/20/2014	PRELIMINARY
2	06/10/2014	REVISIONS
3	06/25/2014	REVISIONS
4	07/15/2014	REVISIONS
5	08/05/2014	REVISIONS
6	08/20/2014	REVISIONS
7	09/10/2014	REVISIONS
8	09/25/2014	REVISIONS
9	10/15/2014	REVISIONS
10	11/05/2014	REVISIONS
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19	03/30/2015	REVISIONS
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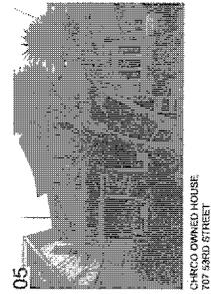
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 PROJECT NAME: CHILDREN'S HOSPITAL & RESEARCH CENTER OAKLAND  
 PROJECT DESIGNER: SANDS (DM) (Engineer)  
 PROJECT ARCHITECT: TAYLOR (Design Architect)  
 LANDSCAPE ARCHITECT: CARDUCCI & ASSOCIATES  
 CIVIL ENGINEER: SANDS (DM) (Engineer)  
 DATE: 05/20/2014



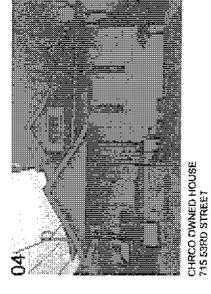




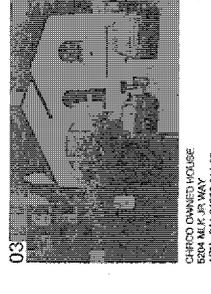
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1982 PARKING GARAGE  
207 PARKING SPACES W/ 42 FOUR PHYSIANS  
42 BICYCLE PARKING SPACES



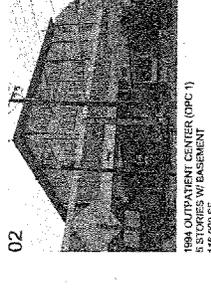
02  
1994 OUTPATIENT CENTER (OPC 1)  
5 STORIES W/ BASEMENT  
17,600 SF



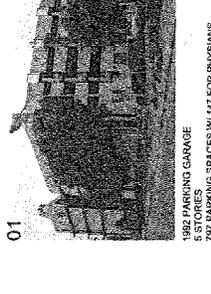
03  
CHRCO OWNED HOUSE  
5004 ALICE PI WAY  
14,140 SF  
USE: OFFICE (AMBULANCE HOUSE)  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



04  
CHRCO OWNED HOUSE  
715 53RD STREET  
APN: 014-12126-027-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



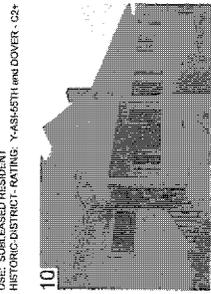
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CHRCO OWNED HOUSE  
707 53RD STREET  
APN: 014-12126-028-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



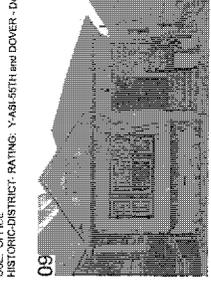
06  
CHRCO OWNED HOUSE  
5004 ALICE PI WAY  
APN: 014-12126-027-01  
HISTORIC-DISTRICT-RATING: NOT LISTED



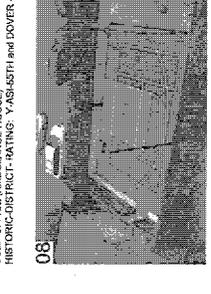
07  
CHRCO OWNED MOBILAR  
USE: SPORTS REHAB  
HISTORIC-DISTRICT-RATING: NONE



08  
CHRCO OWNED PROPERTY  
USE: SPORTS REHAB OUTDOOR SPORTS COURT



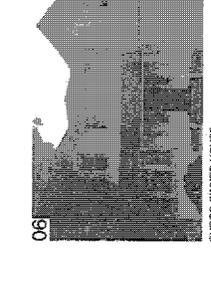
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PRIVATE RESIDENCE  
720 52ND STREET  
APN: 014-12126-044-00  
USE: RES-MULTIFAMILY



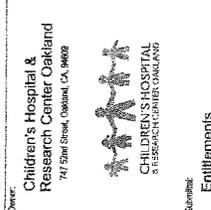
10  
CHRCO OWNED HOUSE  
5203 DOVER STREET  
APN: 014-12126-002-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



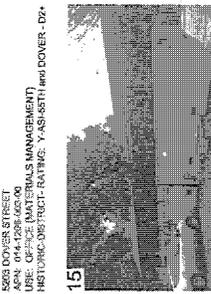
11  
PRIVATE RESIDENCE  
685 DOVER STREET  
APN: 014-12126-001  
USE: RES-DUPLEX



12  
CHRCO OWNED HOUSE  
676 53RD STREET  
APN: 014-12126-006-00  
USE: OFFICE  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



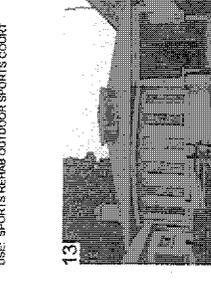
13  
CHRCO OWNED HOUSE  
676 53RD STREET  
APN: 014-12126-006-00  
USE: OFFICE  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



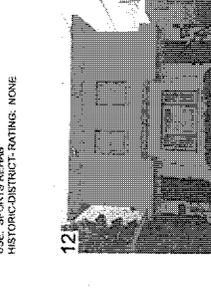
14  
CHRCO OWNED HOUSE  
671 53RD STREET  
APN: 014-12126-007-00  
USE: OFFICE  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



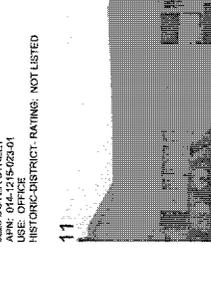
15  
CHRCO OWNED HOUSE  
665 53RD STREET  
APN: 014-12126-008-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



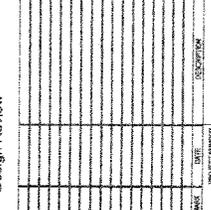
16  
CHRCO OWNED HOUSE  
688 52ND STREET  
APN: 014-12126-003-00  
USE: OFFICE (CLASS ROOM)  
HISTORIC-DISTRICT-RATING: NONE



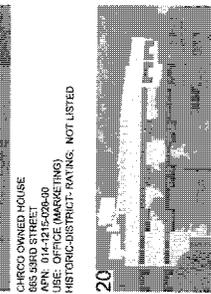
17  
CHRCO OWNED HOUSE  
5212 DOVER STREET  
APN: 014-12126-007-00  
USE: VACANT  
HISTORIC-DISTRICT-RATING: NONE



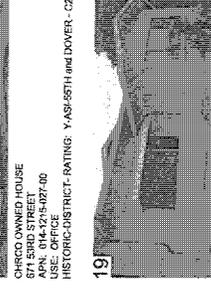
18  
CHRCO OWNED HOUSE  
688 52ND STREET  
APN: 014-12126-003-00  
USE: OFFICE (CLASS ROOM)  
HISTORIC-DISTRICT-RATING: NONE



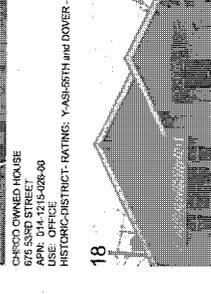
19  
CHRCO OWNED HOUSE  
682 DOVER STREET  
APN: 014-12126-015-00  
HISTORIC-DISTRICT-RATING: NONE



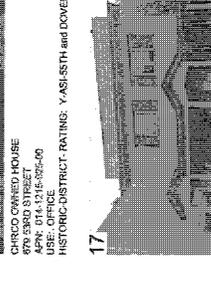
20  
1993 PATIENT TOWER  
6 STORIES  
195,371 SF



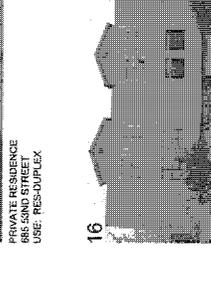
21  
CHRCO FAMILY HOUSE  
DOVER STREET  
APN: 014-12126-001  
USE: LODGING  
HISTORIC-DISTRICT-RATING: NOT LISTED



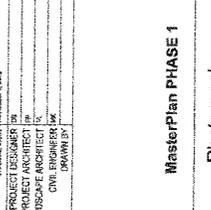
22  
1979 CENTRAL PLANT  
2 STORIES  
12,271 SF



23  
1946 RIC WING  
3 STORIES  
33,910 SF



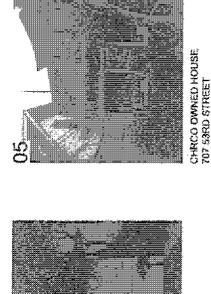
24  
1929 AB WING (BABY HOSPITAL)  
4 STORIES  
45,177 SF



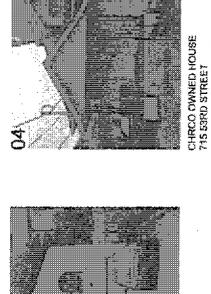
25  
Y1 TEMPORARY TRAILER  
FACILITIES DESIGN & CONSTRUCTION  
480 SF



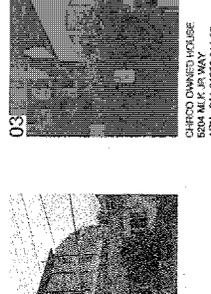
05  
CHRCO OWNED HOUSE  
707 53RD STREET  
APN: 014-12126-028-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



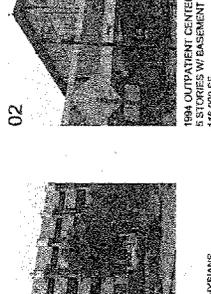
10  
CHRCO OWNED HOUSE  
5203 DOVER STREET  
APN: 014-12126-002-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



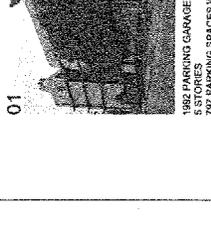
15  
CHRCO OWNED HOUSE  
665 53RD STREET  
APN: 014-12126-008-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



20  
1993 PATIENT TOWER  
6 STORIES  
195,371 SF



25  
Y1 TEMPORARY TRAILER  
FACILITIES DESIGN & CONSTRUCTION  
480 SF



NOTE: SEE SHEET 66 FOR CORRESPONDING SITE LOCATION



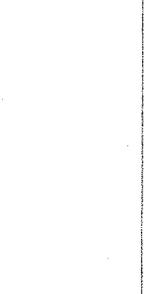
01  
1982 PARKING GARAGE  
207 PARKING SPACES W/ 42 FOUR PHYSIANS  
42 BICYCLE PARKING SPACES



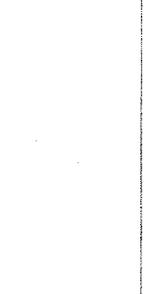
02  
1994 OUTPATIENT CENTER (OPC 1)  
5 STORIES W/ BASEMENT  
17,600 SF



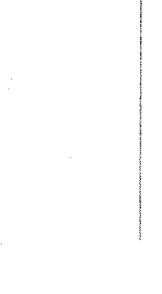
03  
CHRCO OWNED HOUSE  
5004 ALICE PI WAY  
14,140 SF  
USE: OFFICE (AMBULANCE HOUSE)  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



04  
CHRCO OWNED HOUSE  
715 53RD STREET  
APN: 014-12126-027-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



05  
CHRCO OWNED HOUSE  
707 53RD STREET  
APN: 014-12126-028-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



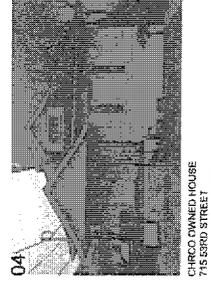
06  
CHRCO OWNED HOUSE  
5004 ALICE PI WAY  
APN: 014-12126-027-01  
HISTORIC-DISTRICT-RATING: NOT LISTED



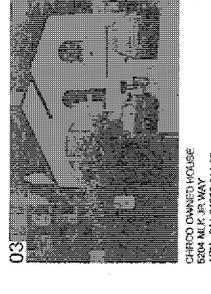
07  
CHRCO OWNED MOBILAR  
USE: SPORTS REHAB  
HISTORIC-DISTRICT-RATING: NONE



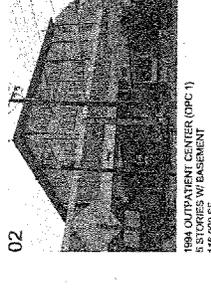
08  
CHRCO OWNED PROPERTY  
USE: SPORTS REHAB OUTDOOR SPORTS COURT



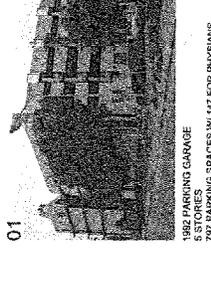
09  
PRIVATE RESIDENCE  
720 52ND STREET  
APN: 014-12126-044-00  
USE: RES-MULTIFAMILY



10  
CHRCO OWNED HOUSE  
5203 DOVER STREET  
APN: 014-12126-002-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



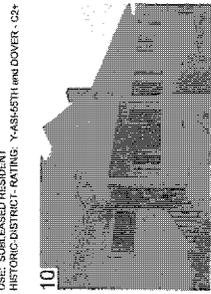
11  
PRIVATE RESIDENCE  
685 DOVER STREET  
APN: 014-12126-001  
USE: RES-DUPLEX



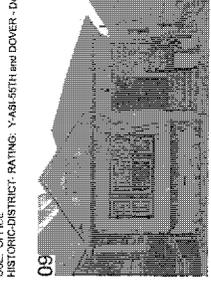
12  
CHRCO OWNED HOUSE  
676 53RD STREET  
APN: 014-12126-006-00  
USE: OFFICE  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



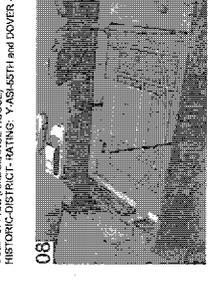
13  
CHRCO OWNED HOUSE  
676 53RD STREET  
APN: 014-12126-006-00  
USE: OFFICE  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



14  
CHRCO OWNED HOUSE  
671 53RD STREET  
APN: 014-12126-007-00  
USE: OFFICE  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



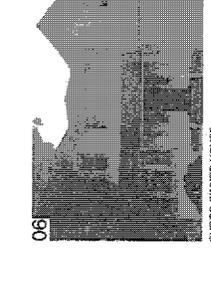
15  
CHRCO OWNED HOUSE  
665 53RD STREET  
APN: 014-12126-008-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



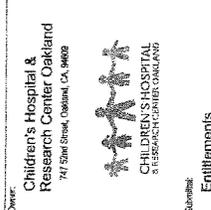
16  
CHRCO OWNED HOUSE  
688 52ND STREET  
APN: 014-12126-003-00  
USE: OFFICE (CLASS ROOM)  
HISTORIC-DISTRICT-RATING: NONE



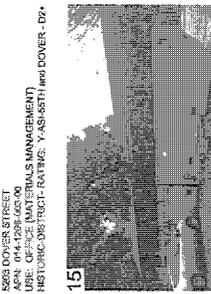
17  
CHRCO OWNED HOUSE  
5212 DOVER STREET  
APN: 014-12126-007-00  
USE: VACANT  
HISTORIC-DISTRICT-RATING: NONE



18  
CHRCO FAMILY HOUSE  
DOVER STREET  
APN: 014-12126-001  
USE: LODGING  
HISTORIC-DISTRICT-RATING: NOT LISTED



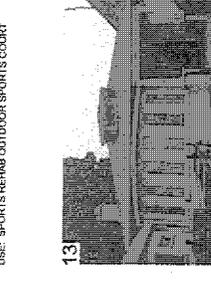
19  
CHRCO OWNED HOUSE  
682 DOVER STREET  
APN: 014-12126-015-00  
HISTORIC-DISTRICT-RATING: NONE



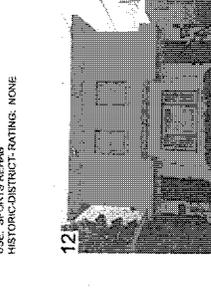
20  
1993 PATIENT TOWER  
6 STORIES  
195,371 SF



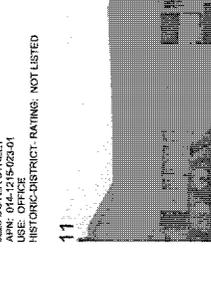
21  
CHRCO FAMILY HOUSE  
DOVER STREET  
APN: 014-12126-001  
USE: LODGING  
HISTORIC-DISTRICT-RATING: NOT LISTED



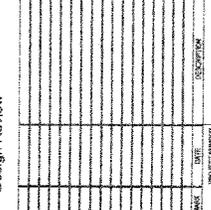
22  
1979 CENTRAL PLANT  
2 STORIES  
12,271 SF



23  
1946 RIC WING  
3 STORIES  
33,910 SF



24  
1929 AB WING (BABY HOSPITAL)  
4 STORIES  
45,177 SF



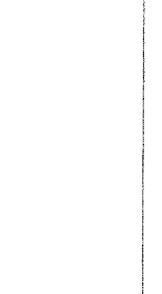
25  
Y1 TEMPORARY TRAILER  
FACILITIES DESIGN & CONSTRUCTION  
480 SF



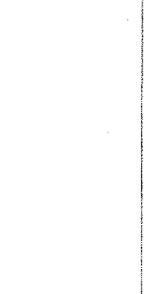
05  
CHRCO OWNED HOUSE  
707 53RD STREET  
APN: 014-12126-028-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



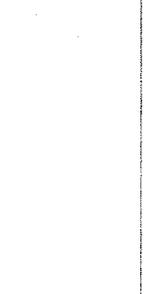
10  
CHRCO OWNED HOUSE  
5203 DOVER STREET  
APN: 014-12126-002-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



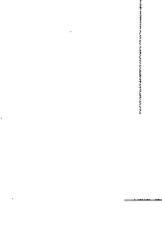
15  
CHRCO OWNED HOUSE  
665 53RD STREET  
APN: 014-12126-008-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



20  
1993 PATIENT TOWER  
6 STORIES  
195,371 SF



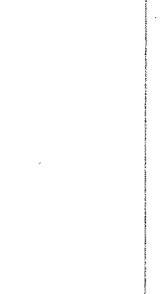
25  
Y1 TEMPORARY TRAILER  
FACILITIES DESIGN & CONSTRUCTION  
480 SF



NOTE: SEE SHEET 66 FOR CORRESPONDING SITE LOCATION



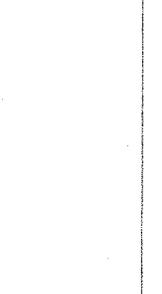
01  
1982 PARKING GARAGE  
207 PARKING SPACES W/ 42 FOUR PHYSIANS  
42 BICYCLE PARKING SPACES



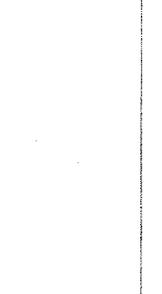
02  
1994 OUTPATIENT CENTER (OPC 1)  
5 STORIES W/ BASEMENT  
17,600 SF



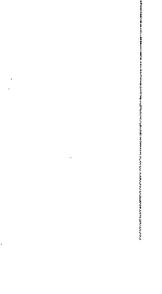
03  
CHRCO OWNED HOUSE  
5004 ALICE PI WAY  
14,140 SF  
USE: OFFICE (AMBULANCE HOUSE)  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



04  
CHRCO OWNED HOUSE  
715 53RD STREET  
APN: 014-12126-027-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



05  
CHRCO OWNED HOUSE  
707 53RD STREET  
APN: 014-12126-028-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



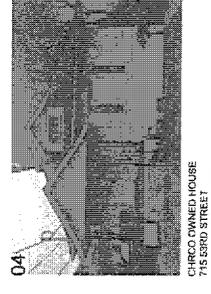
06  
CHRCO OWNED HOUSE  
5004 ALICE PI WAY  
APN: 014-12126-027-01  
HISTORIC-DISTRICT-RATING: NOT LISTED



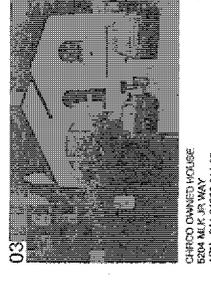
07  
CHRCO OWNED MOBILAR  
USE: SPORTS REHAB  
HISTORIC-DISTRICT-RATING: NONE



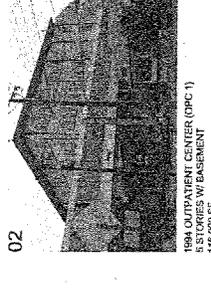
08  
CHRCO OWNED PROPERTY  
USE: SPORTS REHAB OUTDOOR SPORTS COURT



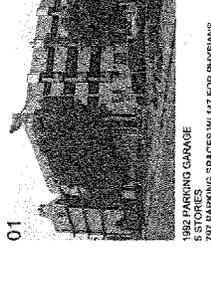
09  
PRIVATE RESIDENCE  
720 52ND STREET  
APN: 014-12126-044-00  
USE: RES-MULTIFAMILY



10  
CHRCO OWNED HOUSE  
5203 DOVER STREET  
APN: 014-12126-002-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



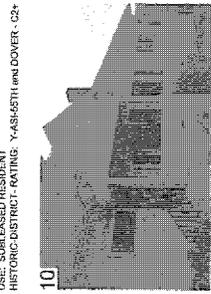
11  
PRIVATE RESIDENCE  
685 DOVER STREET  
APN: 014-12126-001  
USE: RES-DUPLEX



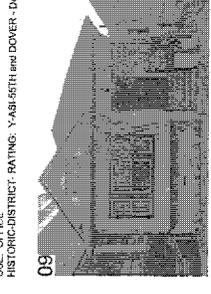
12  
CHRCO OWNED HOUSE  
676 53RD STREET  
APN: 014-12126-006-00  
USE: OFFICE  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



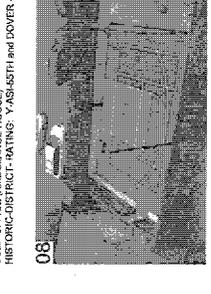
13  
CHRCO OWNED HOUSE  
676 53RD STREET  
APN: 014-12126-006-00  
USE: OFFICE  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



14  
CHRCO OWNED HOUSE  
671 53RD STREET  
APN: 014-12126-007-00  
USE: OFFICE  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



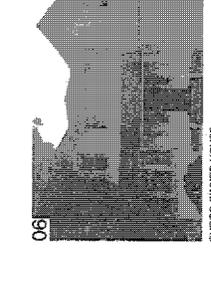
15  
CHRCO OWNED HOUSE  
665 53RD STREET  
APN: 014-12126-008-00  
HISTORIC-DISTRICT-RATING: Y-AS1-55TH and DOVER - D2+



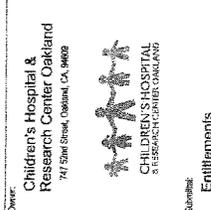
16  
CHRCO OWNED HOUSE  
688 52ND STREET  
APN: 014-12126-003-00  
USE: OFFICE (CLASS ROOM)  
HISTORIC-DISTRICT-RATING: NONE



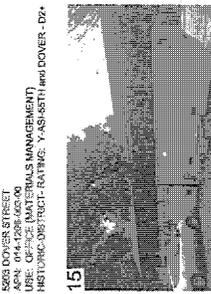
17  
CHRCO OWNED HOUSE  
5212 DOVER STREET  
APN: 014-12126-007-00  
USE: VACANT  
HISTORIC-DISTRICT-RATING: NONE



18  
CHRCO FAMILY HOUSE  
DOVER STREET  
APN: 014-12126-001  
USE: LODGING  
HISTORIC-DISTRICT-RATING: NOT LISTED



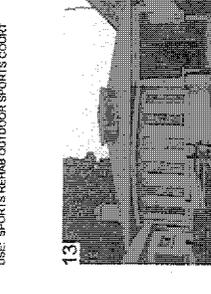
19  
CHRCO OWNED HOUSE  
682 DOVER STREET  
APN: 014-12126-015-00  
HISTORIC-DISTRICT-RATING: NONE



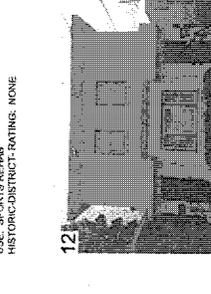
20  
1993 PATIENT TOWER  
6 STORIES  
195,371 SF



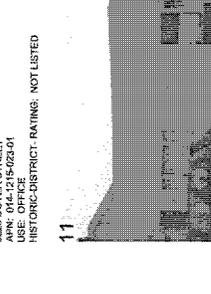
21  
CHRCO FAMILY HOUSE  
DOVER STREET  
APN: 014-12126-001  
USE: LODGING  
HISTORIC-DISTRICT-RATING: NOT LISTED



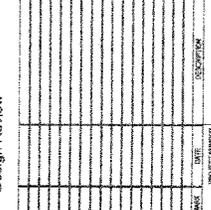
22  
1979 CENTRAL PLANT  
2 STORIES  
12,271 SF



23  
1946 RIC WING  
3 STORIES  
33,910 SF



24  
1929 AB WING (BABY HOSPITAL)  
4 STORIES  
45,177 SF



25  
Y1 TEMPORARY TRAILER  
FACILITIES DESIGN & CONSTRUCTION  
480 SF









































# Children's Hospital Oakland Facilities Master Plan



UCSF Benioff Children's Hospital  
Oakland

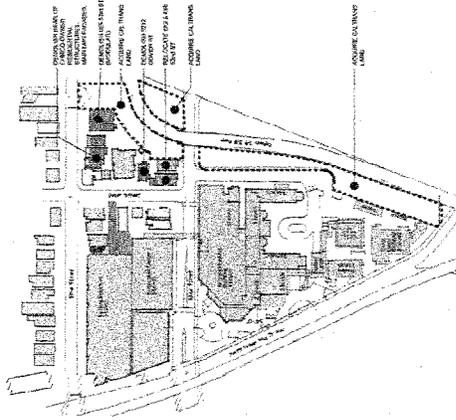
1

FOR TAYLOR

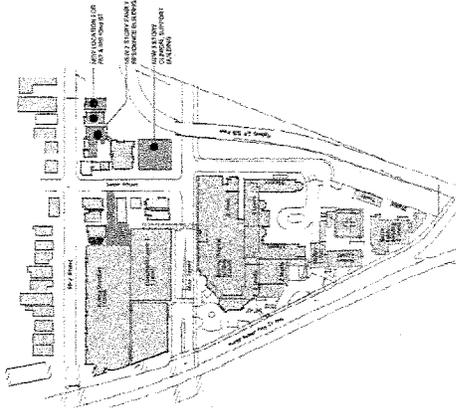
ATTACHMENT D



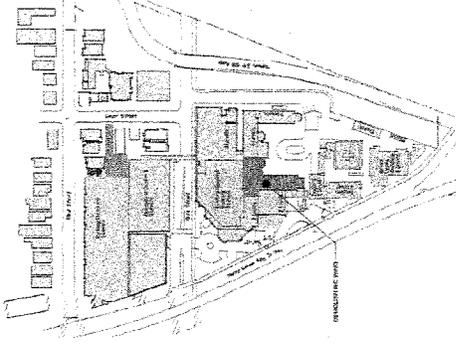




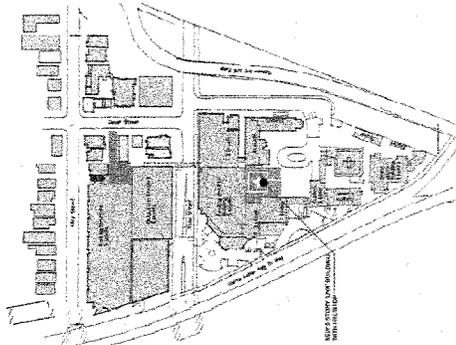
MASTER PLAN PHASE 2  
SEQUENCE 2B: DEMOLITION  
1



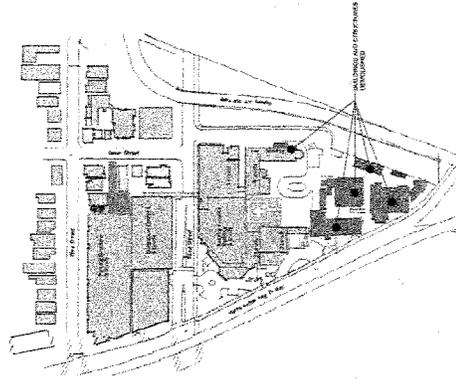
MASTER PLAN PHASE 2  
SEQUENCE 2B: NEW CONSTRUCTION  
2



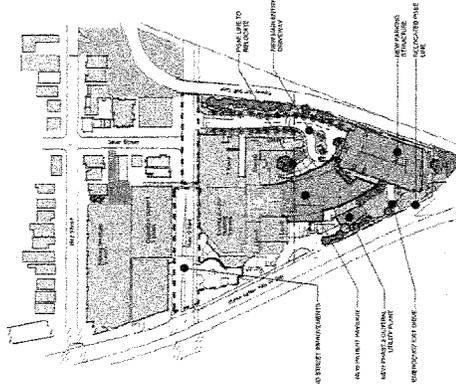
MASTER PLAN PHASE 2  
SEQUENCE 2C: DEMOLITION  
9



MASTER PLAN PHASE 2  
SEQUENCE 2C: NEW CONSTRUCTION  
4



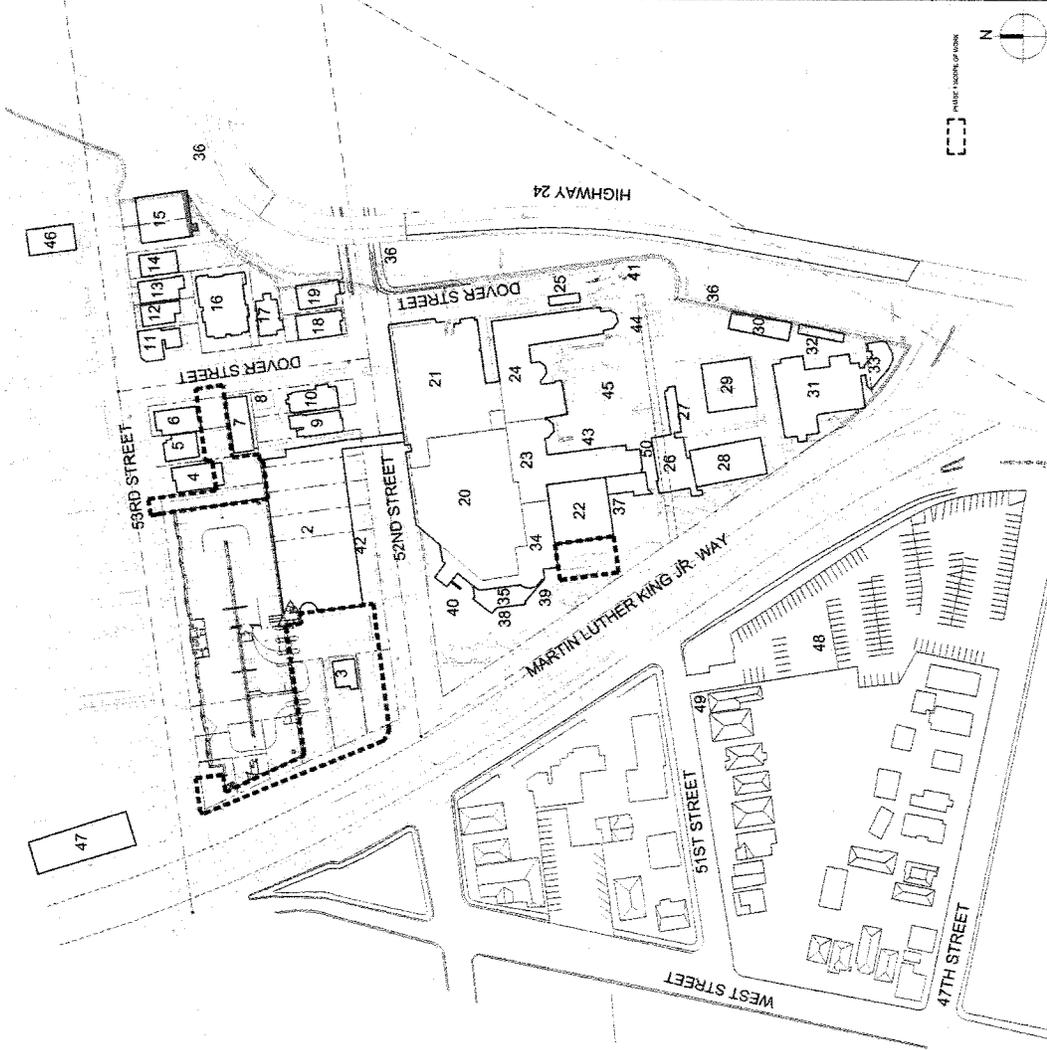
MASTER PLAN PHASE 2  
SEQUENCE 2D: DEMOLITION  
5

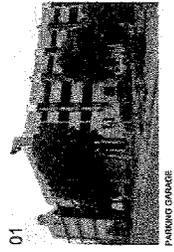


MASTER PLAN PHASE 2  
SEQUENCE 2E: NEW CONSTRUCTION  
8

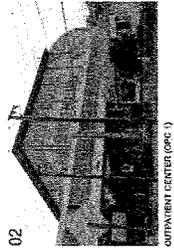
**EXISTING CHRCO CAMPUS:**

1. 1ST FLOOR
2. 2ND FLOOR
3. 3RD FLOOR
4. 4TH FLOOR
5. 5TH FLOOR
6. 6TH FLOOR
7. 7TH FLOOR
8. 8TH FLOOR
9. 9TH FLOOR
10. 10TH FLOOR
11. 11TH FLOOR
12. 12TH FLOOR
13. 13TH FLOOR
14. 14TH FLOOR
15. 15TH FLOOR
16. 16TH FLOOR
17. 17TH FLOOR
18. 18TH FLOOR
19. 19TH FLOOR
20. 20TH FLOOR
21. 21ST FLOOR
22. 22ND FLOOR
23. 23RD FLOOR
24. 24TH FLOOR
25. 25TH FLOOR
26. 26TH FLOOR
27. 27TH FLOOR
28. 28TH FLOOR
29. 29TH FLOOR
30. 30TH FLOOR
31. 31ST FLOOR
32. 32ND FLOOR
33. 33RD FLOOR
34. 34TH FLOOR
35. 35TH FLOOR
36. 36TH FLOOR
37. 37TH FLOOR
38. 38TH FLOOR
39. 39TH FLOOR
40. 40TH FLOOR
41. 41ST FLOOR
42. 42ND FLOOR
43. 43RD FLOOR
44. 44TH FLOOR
45. 45TH FLOOR
46. 46TH FLOOR
47. 47TH FLOOR
48. 48TH FLOOR
49. 49TH FLOOR
50. 50TH FLOOR

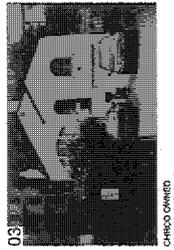




01 PARKING GARAGE



02 APARTMENT CENTER (PSC)



03 CHURCH OWNED  
5204 MLK WAY



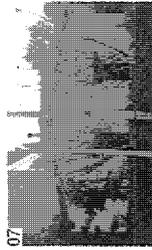
04 CHURCH OWNED  
719 SAND STREET



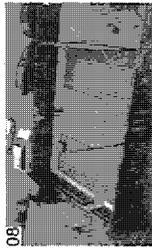
05 CHURCH OWNED  
707 SAND STREET



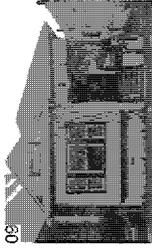
06 CHURCH OWNED  
5204 MLK STREET



07 CHURCH OWNED MODULAR  
SPORTS FISH-HUT



08 CHURCH OWNED PROXIMITY  
SPORTS FISH-HUT OUTDOOR SPORT COURT



09 PRIVATE RESIDENCE  
726 SAND STREET



10 CHURCH OWNED HOUSE  
893 DOVER STREET



11 PRIVATE RESIDENCE  
606 SAND STREET



12 CHURCH OWNED  
695 SAND STREET



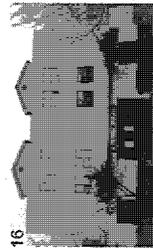
13 CHURCH OWNED  
875 SAND STREET



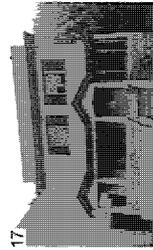
14 CHURCH OWNED  
871 SAND STREET



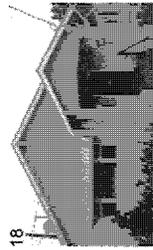
15 CHURCH OWNED MODULAR  
688 SAND STREET



16 CHURCH FAMILY HOUSE  
522 DOVER STREET



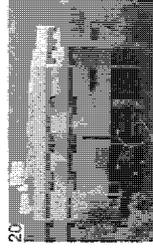
17 CHURCH OWNED  
707 DOVER STREET



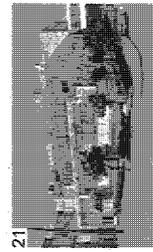
18 CHURCH OWNED  
682 SAND STREET



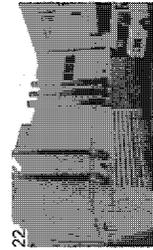
19 CHURCH OWNED  
682 SAND STREET



20 MERCY PATIENT TOWER



21 FORD DIAGNOSTIC AND TREATMENT CENTER (AT)



22 CENTRAL UTILITY PLANT



23 BIC WING



24 ART WING



25 T1 TEMPORARY TRAILER  
PACIFIC DESIGN & CONSTRUCTION



UCSF Benioff Children's Hospital  
Oakland



26  
13 TEMPORARY TRAILER  
ED ADMINISTRATION



27  
12 TEMPORARY TRAILER  
SOCIAL SERVICES



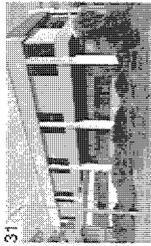
28  
16 TEMPORARY TRAILER  
CVC CENTER FOR VULNERABLE CHILDREN



29  
HILLTOP



30  
11 TEMPORARY TRAILER  
EDUCATIONALS



31  
BRUCE LYON MEMORIAL RESEARCH CENTER



32  
17 TEMPORARY TRAILER  
HEMATOLOGY ONCOLOGY OFFICES



33  
HEMATOLOGY/ONCOLOGY BUILDING



34  
HOSPITAL CAFETERIA



35  
HOSPITAL WESTERN ADDITION



36  
CALTRANS ROW



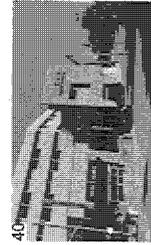
37  
HOSPITAL LOADING DOCK



38  
COURTESY SHUTTLE STOP



39  
AMBULANCE ENTRY



40  
DROP OFF AND HOSPITAL MAIN ENTRANCE



41  
SOUTH PARKING LOT



42  
FARMERS MARKET



43  
SOUTHERN MAGNOLIA TREE



44  
CHILDREN'S PLAYGROUND



45  
ORIGINAL ENTRY DRIVE/DRIVEWAY



46  
CHIRCO OWNED  
970 53rd Street



47  
HAWAII RESOURCES AND PSYCHIATRIC OFFICES  
770 53rd Street



48  
CHIRO ANNEX EMPLOYEE PARKING LOT



49  
CHIRCO OWNED  
814 5th Street



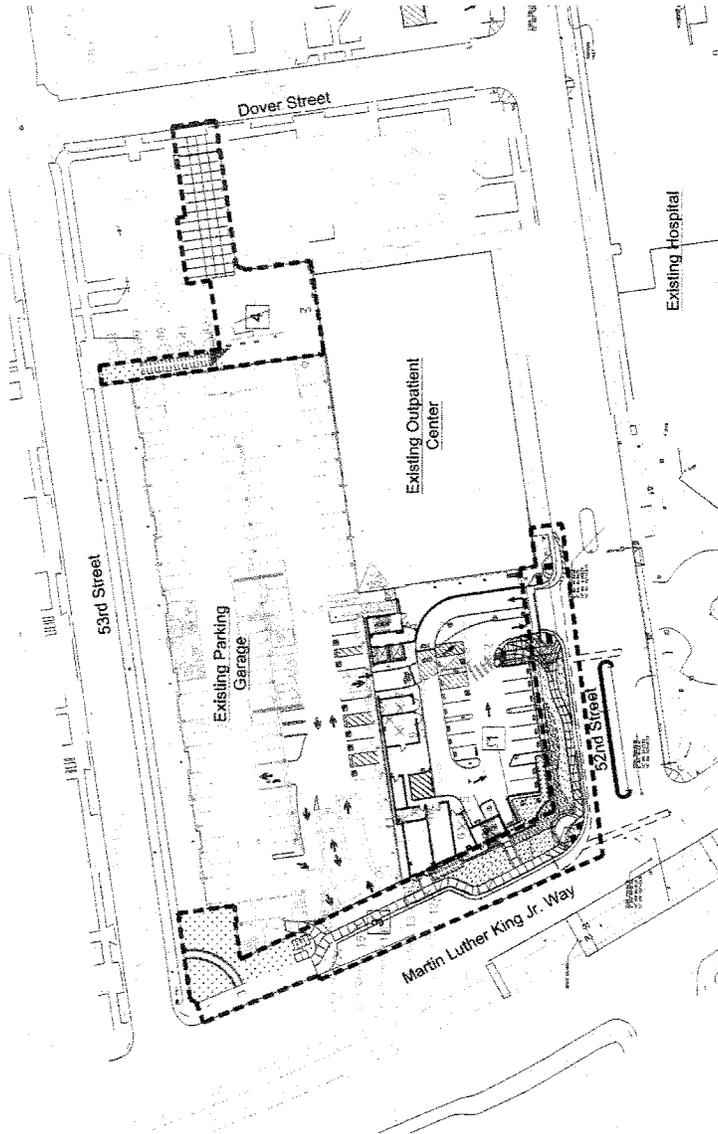
50  
BUTTERFLY GARDEN

**SCOPE OF WORK**

- 1. NEW CONSTRUCTION
- 2. REPAIRS AND MAINTENANCE
- 3. DEMOLITION
- 4. EXISTING
- 5. LANDSCAPE
- 6. UTILITIES
- 7. PAVING
- 8. SIGNAGE
- 9. FURNITURE
- 10. EQUIPMENT
- 11. SPECIALTIES
- 12. OTHER



LIMIT OF PHASE 1 WORK



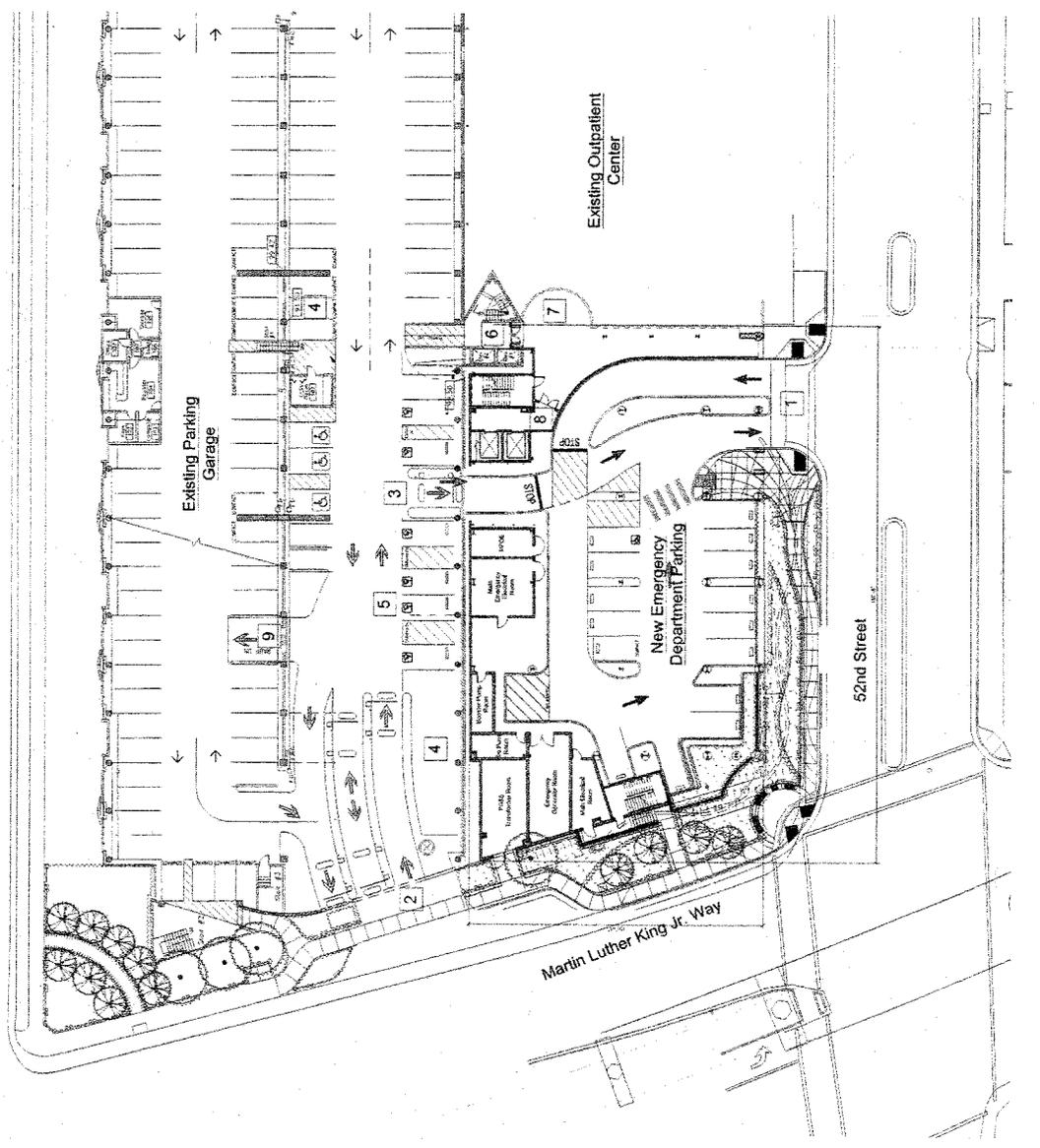
**UCSF Benioff Children's Hospital**  
Oakland

**SCOPE OF WORK**

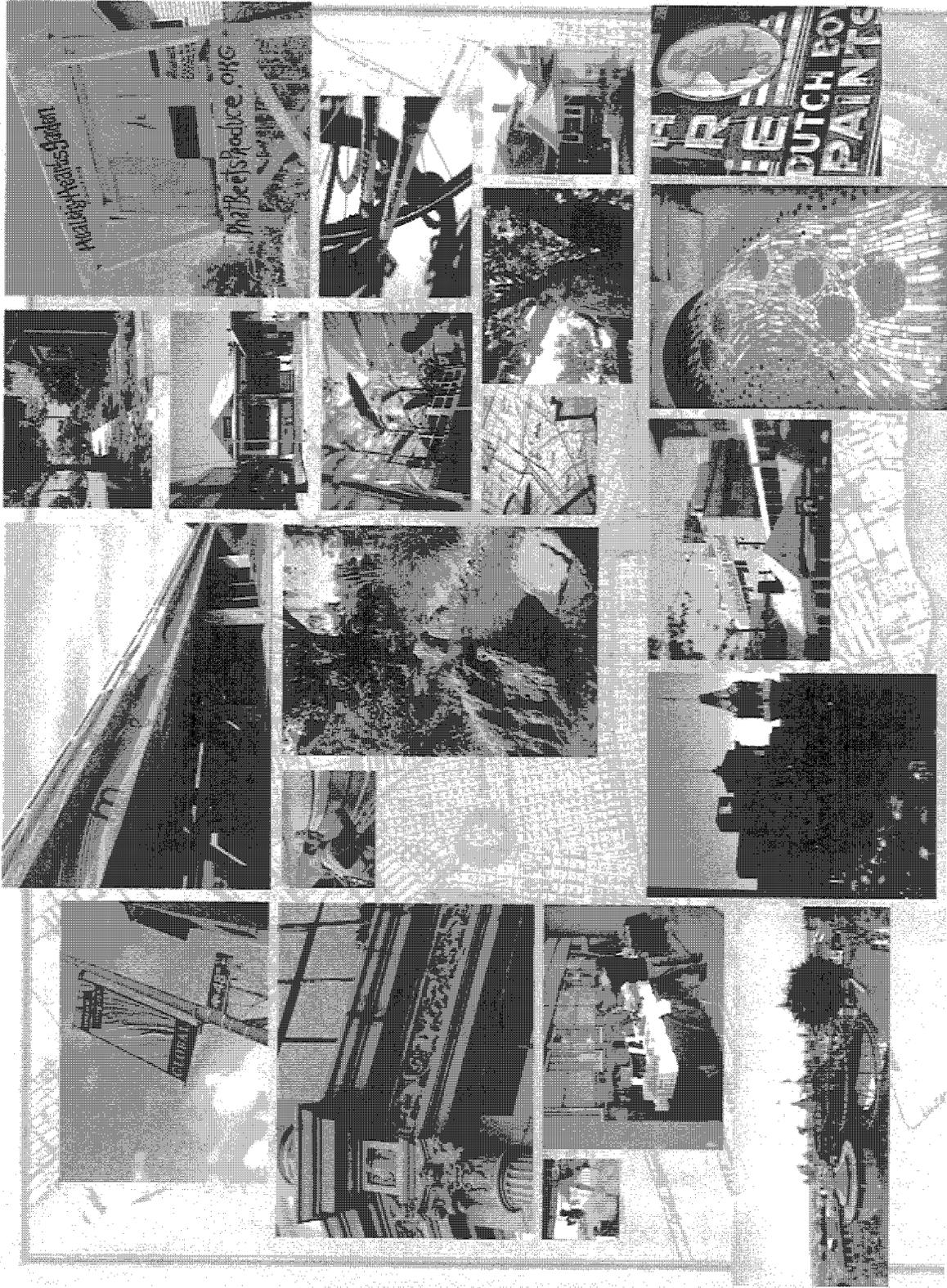
- 1. NEW EMERGENCY DEPARTMENT PARKING ENTRANCE
- 2. NEW ENTRANCE TO EXISTING PARKING GARAGE FROM AL
- 3. IMPROVEMENTS TO EXISTING PARKING GARAGE FROM AL
- 4. IMPROVEMENTS TO 52ND STREET WALK
- 5. IMPROVEMENTS TO 52ND STREET WALK
- 6. IMPROVEMENTS TO 52ND STREET WALK
- 7. IMPROVEMENTS TO 52ND STREET WALK
- 8. IMPROVEMENTS TO 52ND STREET WALK
- 9. IMPROVEMENTS TO 52ND STREET WALK
- 10. IMPROVEMENTS TO 52ND STREET WALK
- 11. IMPROVEMENTS TO 52ND STREET WALK
- 12. IMPROVEMENTS TO 52ND STREET WALK
- 13. IMPROVEMENTS TO 52ND STREET WALK
- 14. IMPROVEMENTS TO 52ND STREET WALK
- 15. IMPROVEMENTS TO 52ND STREET WALK
- 16. IMPROVEMENTS TO 52ND STREET WALK
- 17. IMPROVEMENTS TO 52ND STREET WALK
- 18. IMPROVEMENTS TO 52ND STREET WALK
- 19. IMPROVEMENTS TO 52ND STREET WALK
- 20. IMPROVEMENTS TO 52ND STREET WALK

**PUD SUPPLEMENTAL INFO**

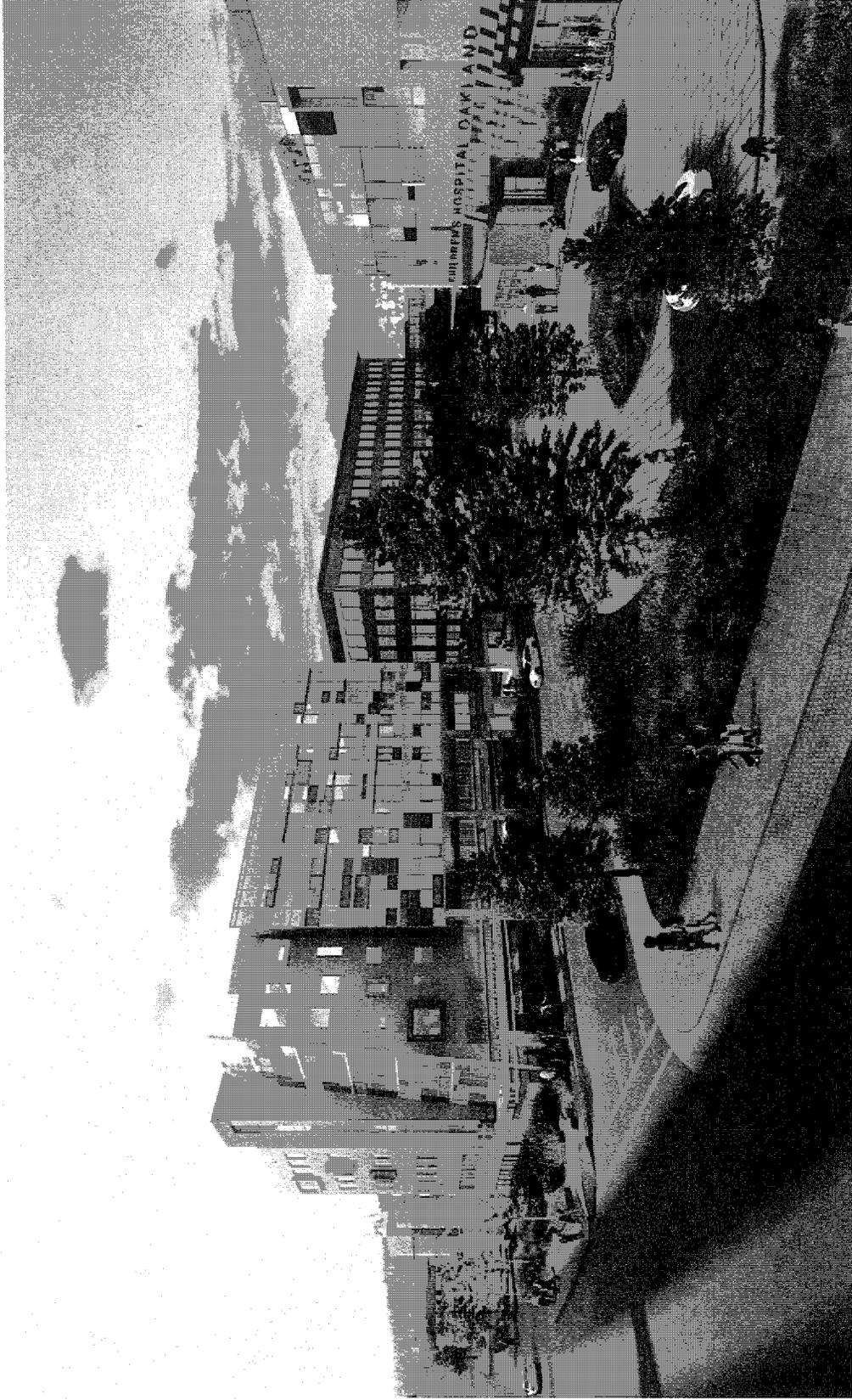
USE SUPPLEMENTAL INFO TO DETERMINE SCOPE OF WORK







Local Color and Context

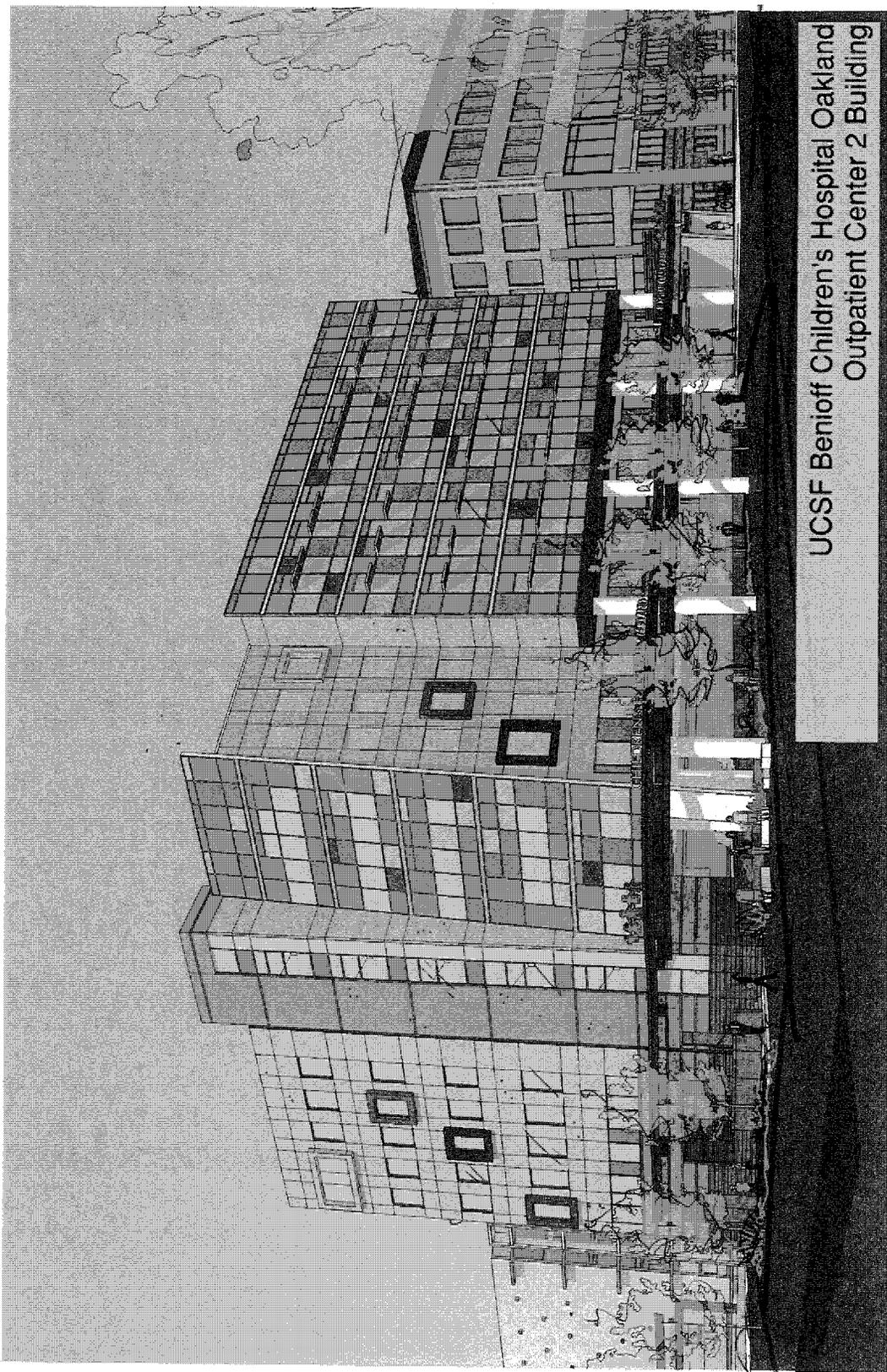


UCSF Benioff Children's Hospital  
Oakland

Outpatient Center 2 (OPC2)

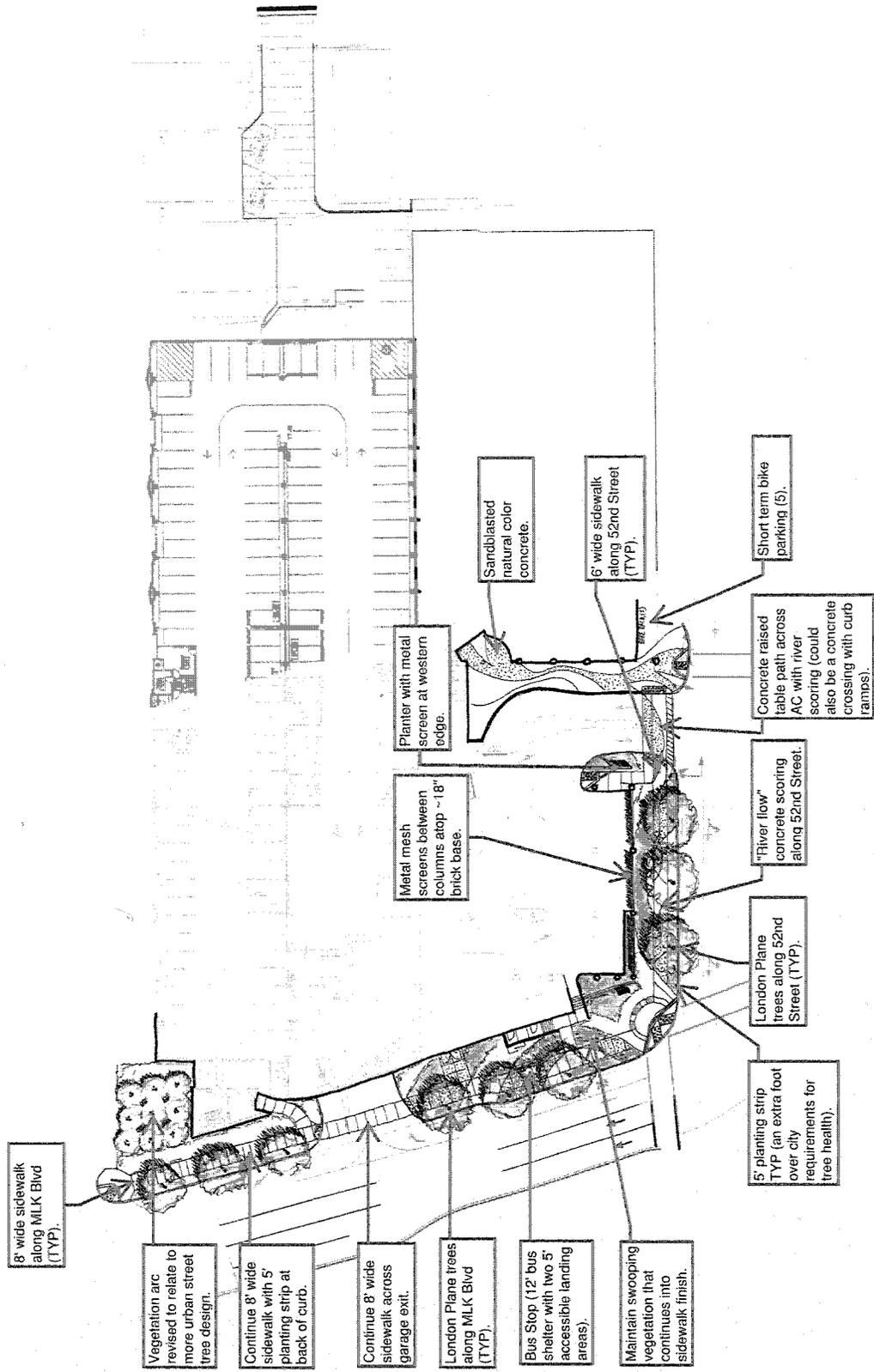
12

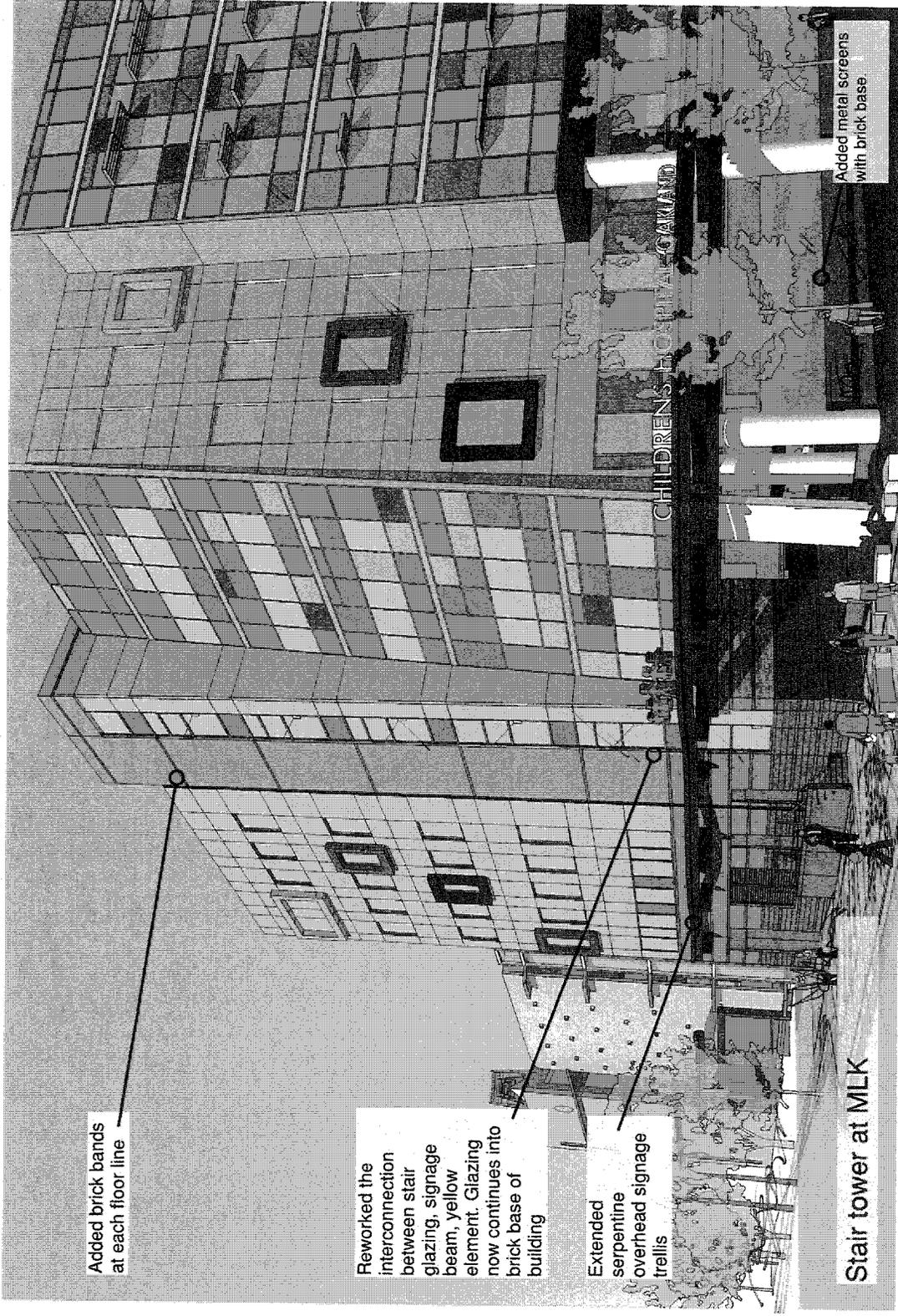
HDR TAYLOR



UCSF Benioff Children's Hospital Oakland  
Outpatient Center 2 Building







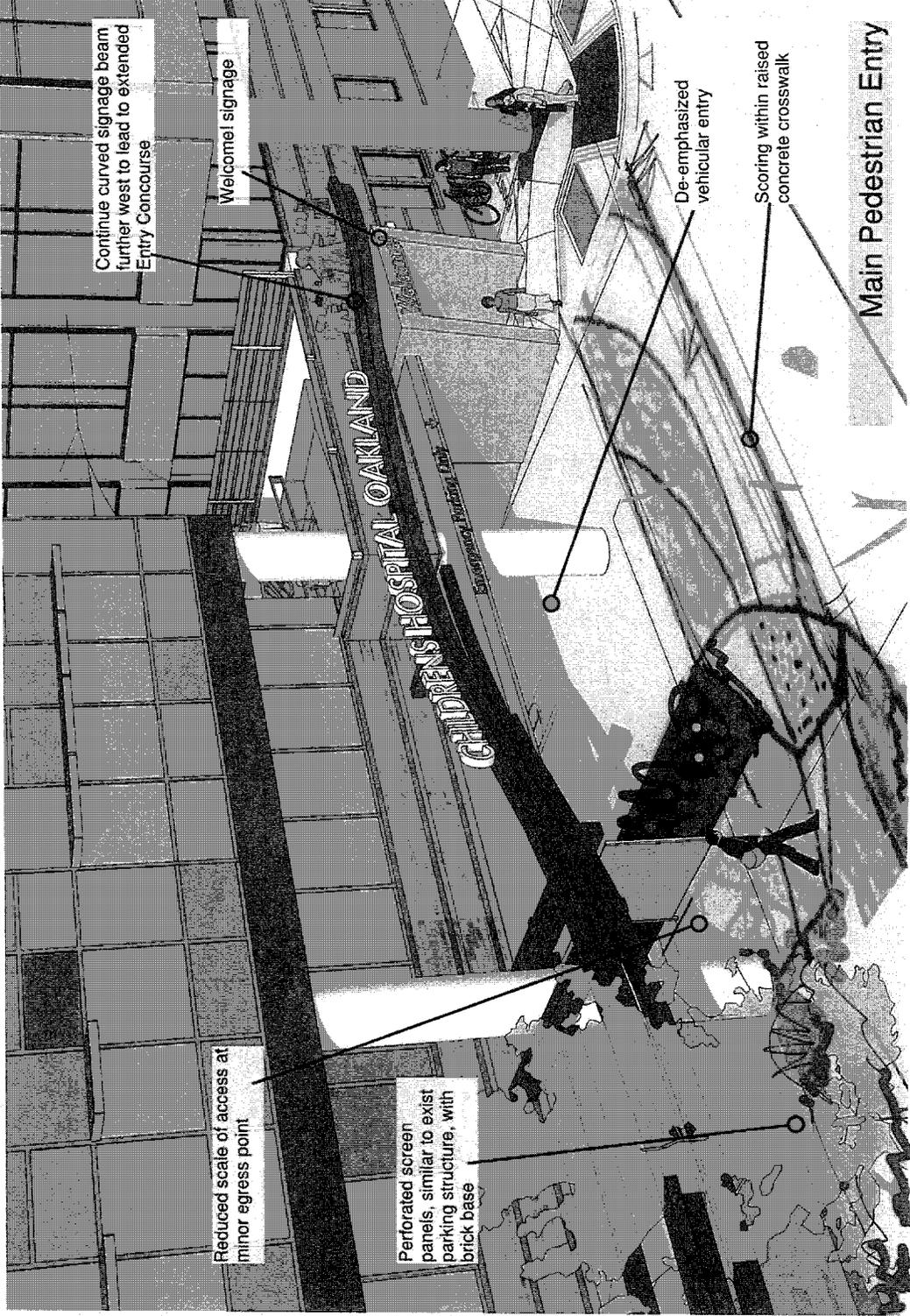
Added brick bands at each floor line

Reworked the interconnection between stair glazing, signage beam, yellow element. Glazing now continues into brick base of building

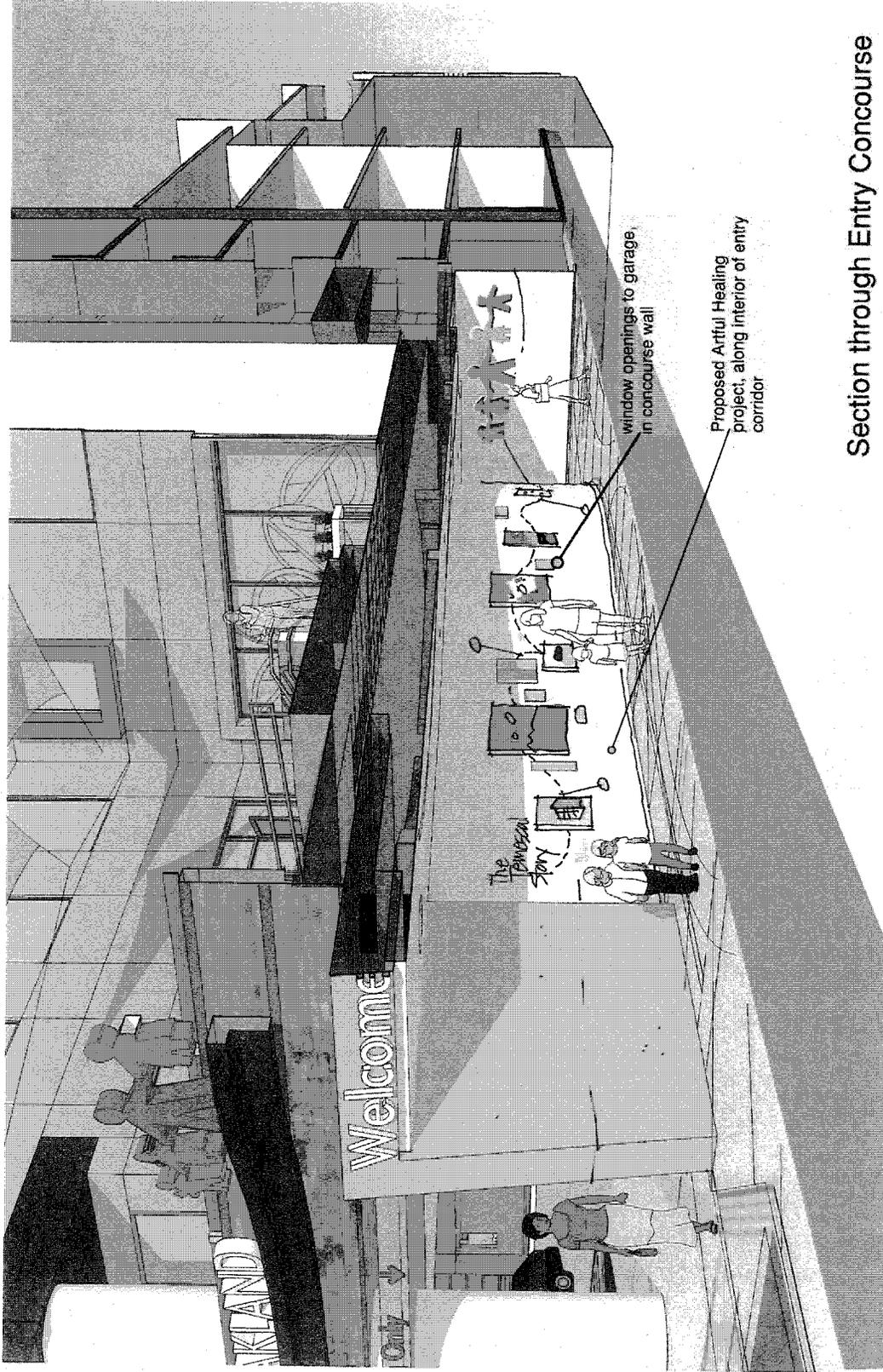
Extended serpentine overhead signage trellis

Stair tower at MLK

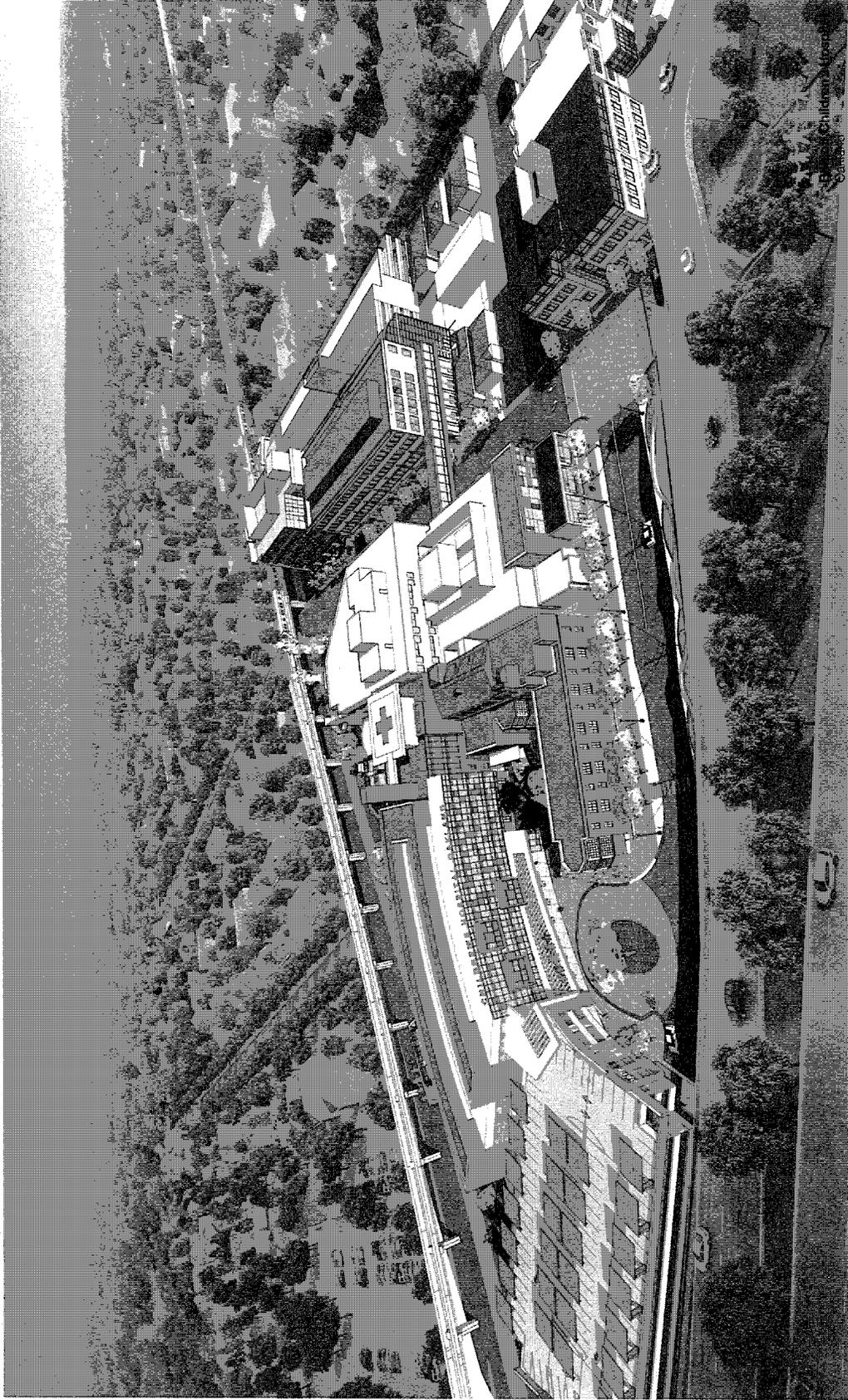
Added metal screens with brick base



UCSF Benioff Children's Hospital  
Oakland



Section through Entry Concourse

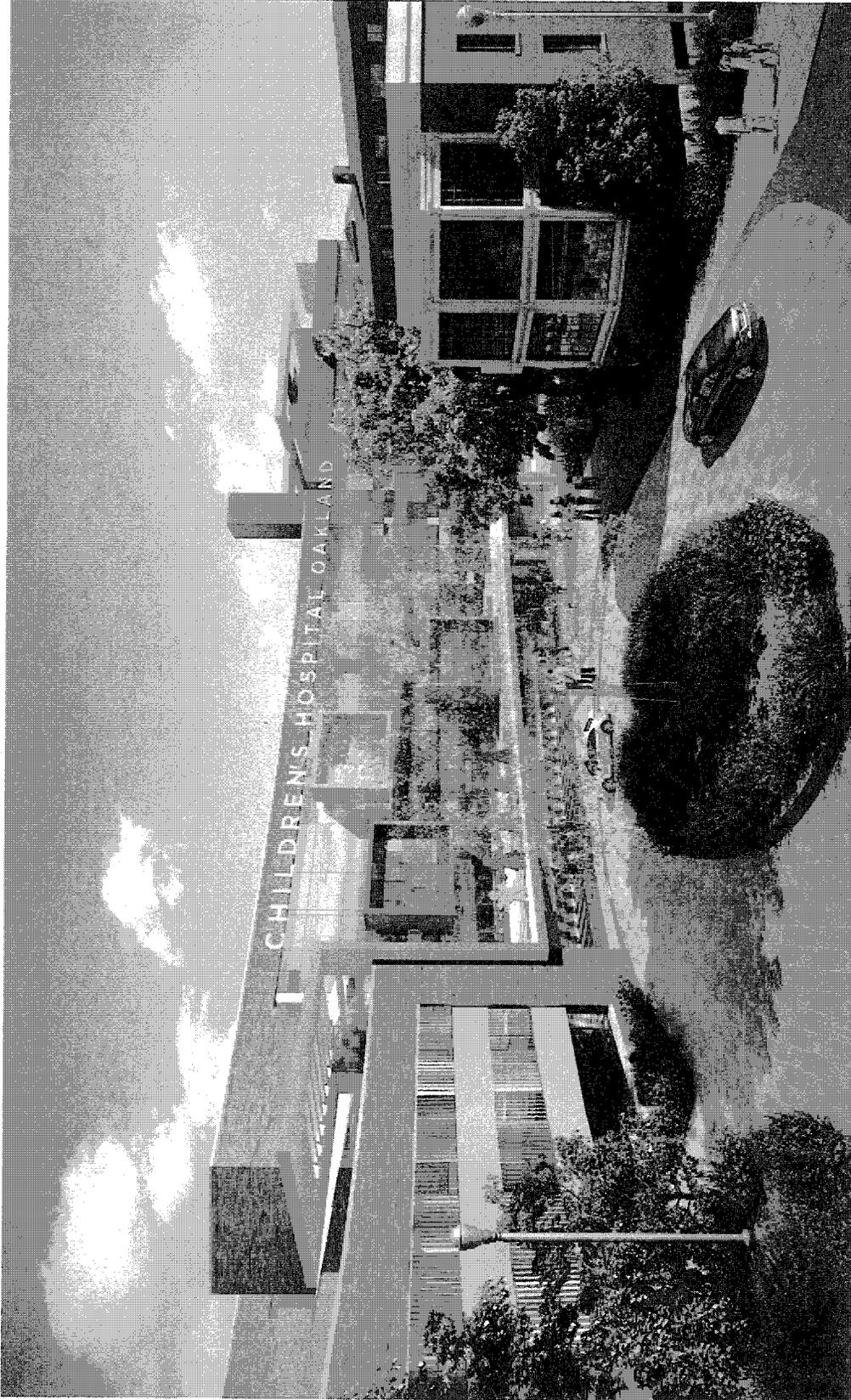


  
UCSF Benioff Children's Hospital  
Oakland

Overall Campus View

18

HDR TAYLOR



  
UCSF Benioff Children's Hospital  
Oakland

Patient Pavilion & Drop-Off

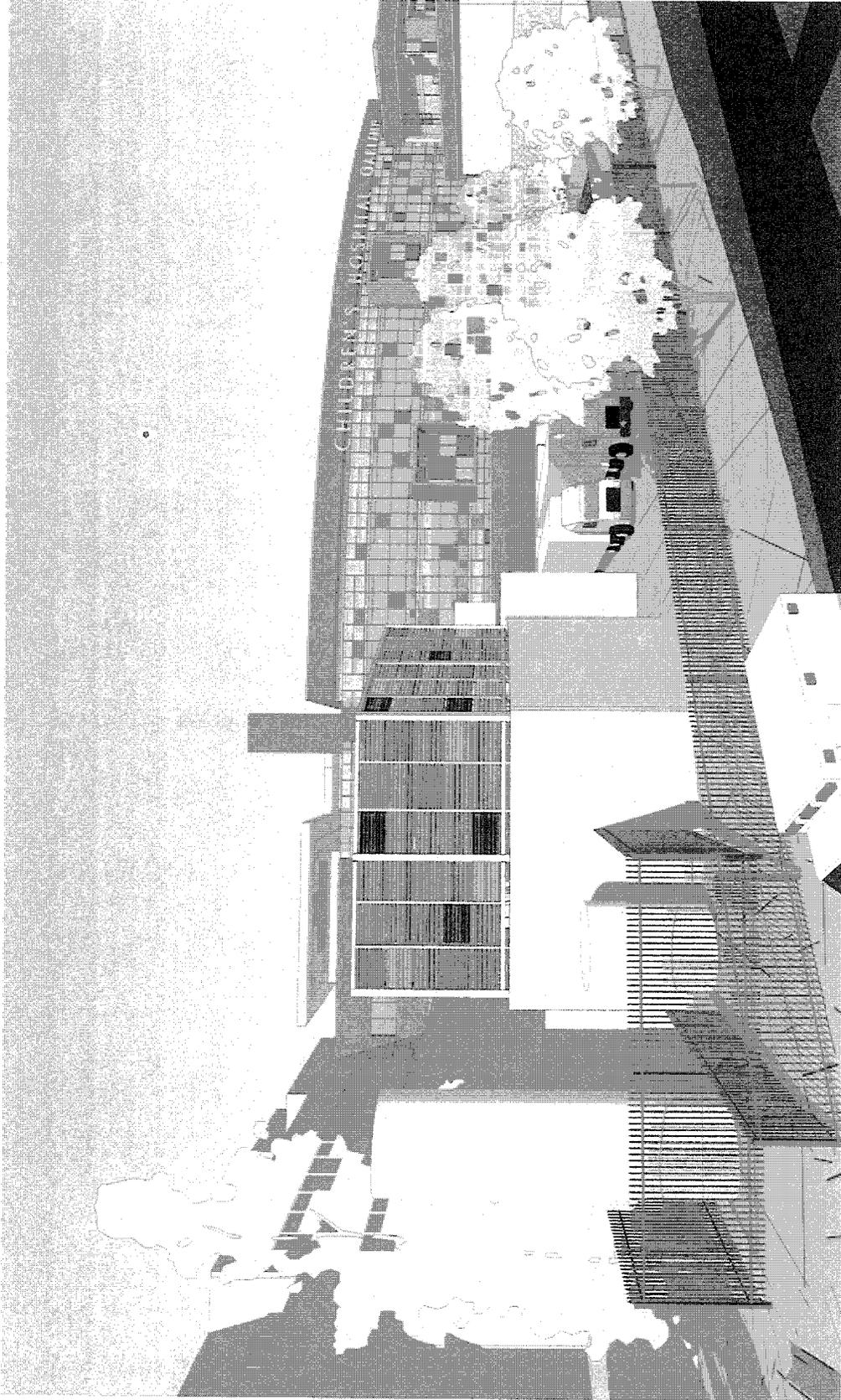


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Oakland

New Courtyard View

20



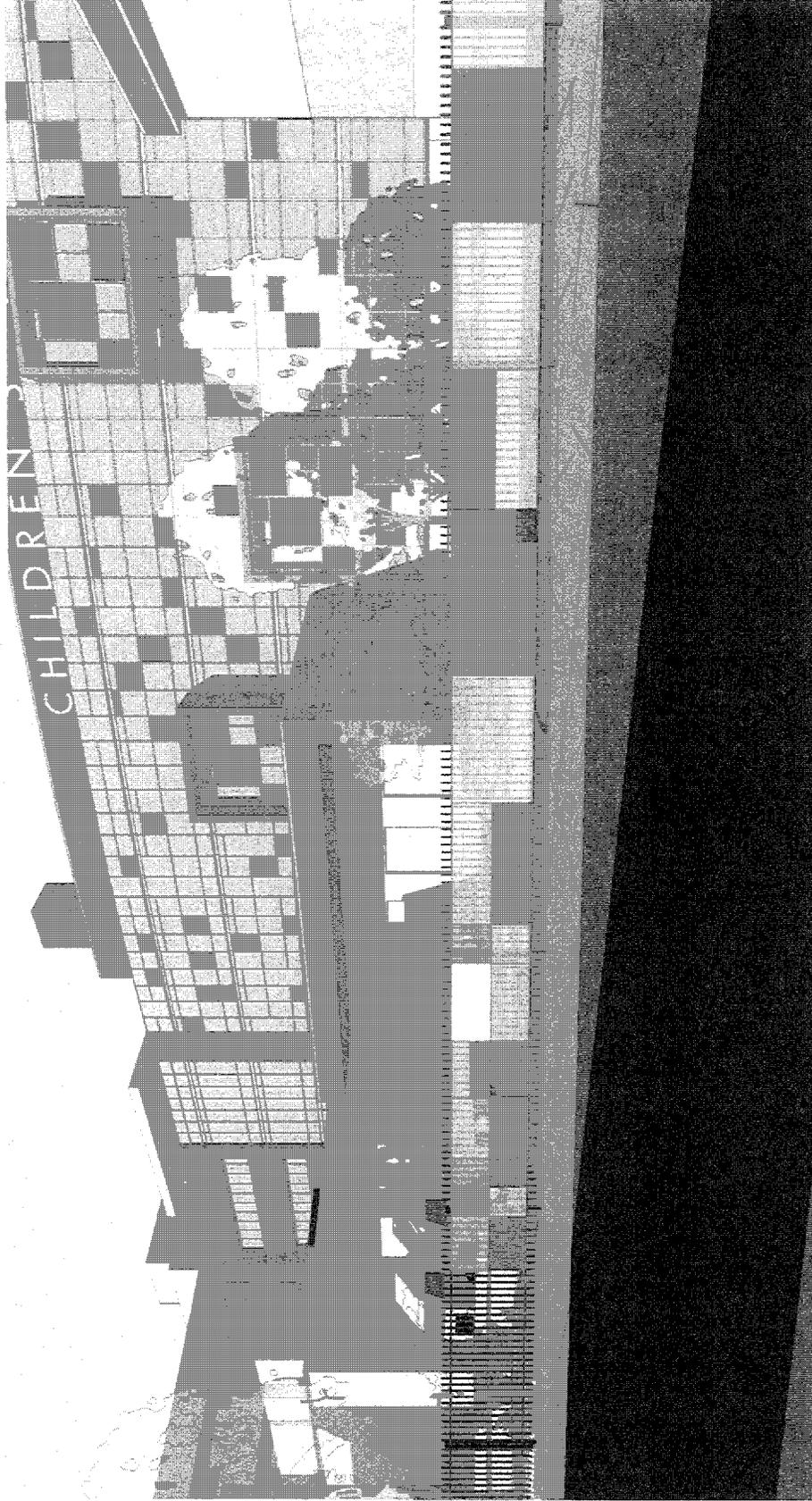


UCSF Benioff Children's Hospital  
Oakland

Central Utility Plant

21

HDR TAYLOR



UCSF Benioff Children's Hospital  
Oakland



  
UCSF Benioff Children's Hospital  
Oakland

New Family House & 53<sup>rd</sup> Street

23

**HDR** TAYLOR



<b>Location:</b>	<b>459 8<sup>th</sup> Street (at Broadway)</b> (APN: 001-0201-015-00)
<b>Proposal:</b>	Construct a new five story building containing 50 dwelling units over approximately 4,000 square feet of ground floor commercial on an existing vacant lot.
<b>Applicant:</b>	Signature Land Advisors
<b>Contact Person/Phone Number:</b>	Scott Zengel, (510)251-9278
<b>Owner:</b>	Broadway Oak Partners, LLC
<b>General Plan:</b>	Central Business District
<b>Zoning:</b>	CBD-P, Central Business District – Pedestrian Retail Commercial Zone/CBD Height Area 1 S-7, Preservation Combining Zone
<b>Environmental Determination:</b>	Pending – CEQA review currently underway
<b>Historic Status:</b>	Vacant lot within the Old Oakland API
<b>Service Delivery District:</b>	Metro
<b>City Council District:</b>	3
<b>For Further Information:</b>	Contact <b>Peterson Z. Vollmann (510) 238-6167,</b> <a href="mailto:pvollman@oaklandnet.com">pvollman@oaklandnet.com</a>

**INTRODUCTION**

Signature Land Advisors has filed an application with the Bureau of Planning to develop a 50 unit housing development with approximately 4,000 square feet of ground floor commercial. The project site is a vacant lot at the corner of Broadway and 8<sup>th</sup> Street and is located on the edge of the Old Oakland Historic District. Pursuant to Planning Code Sections 17.136.055C & 17.136.060 any new construction project located within either an API in the Central Business District or is located within the S-7 Zone, the project shall be reviewed by the Landmarks Preservation Advisory Board prior to any action on the application by the decision making body.

A similar development at this site was approved for 48 dwelling units and ground floor live-work in 2006.

The main purpose of this hearing is to receive input from the full Landmarks Board regarding the proposed design of the new building within the Old Oakland API prior to a decision being made on the project by the Zoning Manager.

**SITE DESCRIPTION**

The project site is a 15,000 square foot lot located at the southwest corner of Broadway and 8<sup>th</sup> Street. Presently the site is a vacant paved lot that is being used for Auto Fee Parking.

*Old Oakland Historic District*

The site is located in the Old Oakland Historic District, which is also listed on the National Register of Historic Places.

The District comprises most of the six square blocks bounded by Broadway, 7<sup>th</sup>, 10<sup>th</sup> and Clay Streets; both sides of Washington, 8<sup>th</sup> and 9<sup>th</sup> Streets are included. The buildings are rectangular commercial blocks, one to four stories high, occupying their entire lots at the street frontage, and in various historic architectural styles. The District is bounded on the north, south and east by large modern high-rise buildings and on the west one and two-story buildings, with scattered new mid-rise development in last decade.

Along 8<sup>th</sup> Street, between Broadway and Washington, there are four contributors, one non-contributor, and one infill project (also a non-contributor) to the Historic District.

On the north side of 8<sup>th</sup> Street, directly across from the proposal (801-7 Broadway), is the Sanford Building, a simplified Italianate two-story brick building with a canted corner, built in 1865. Remodeling has drastically altered the ground floor. The storefront divisions were at one time marked by fluted Corinthian pilasters. Directly west of the Sanford Building is the Leimert building at 458-66 8<sup>th</sup> Street, an Italianate which was significantly restored as part of the City of Oakland "Victorian Row" project. Both of these are contributors to the District.

On the south side of 8<sup>th</sup> Street, the adjacent building to the proposal, the Madrone Hotel, is an early 20<sup>th</sup> century commercial four-story and basement building of concrete with stucco façade, and a contributor to the District. Chicago-style windows with paneled aprons in two symmetrical columns, with a metal fire escape in between compose the facade. To the west is an infill project constructed in about 1999. The last two buildings along 8<sup>th</sup> Street include the 1886 Buffalo Exchange Building at 489-91 8<sup>th</sup>, a small wood-faced brick, two-story building contributor, with the upper floor divided into two wooden bay windows, and a one-story non-contributor to the district at the corner.

Buildings along Broadway, between 8<sup>th</sup> and 7<sup>th</sup> Streets are non-contributors to the District.

## **PROJECT DESCRIPTION**

The proposed project is a five story building containing 50 dwelling units in the upper four stories above approximately 4,000 square feet of ground floor commercial space. The ground floor would consist of a double height commercial space of approximately 19 feet in height to be consistent with other older buildings in the area and be oriented towards 8<sup>th</sup> Street. The Broadway ground floor would contain the residential entrance with a very large lobby area to provide an attractive and active space along the Broadway frontage. The auto entry is proposed to be located at the western portion of the property off of 8<sup>th</sup> street in a manner that allows continuity of the commercial space to wrap out to the corner of Broadway.

The proposed building would contain a modern design that uses a bay window pattern to pick up on the character of the district while not trying to replicate the historic buildings in the district. The exterior materials will include a mix of cement plaster and horizontal siding in color tones that are seen throughout the district. The ground floor commercial bays will include an aluminum storefront system with brick pilasters with a cast stone base.

## ZONING ANALYSIS

The project site is located within the CBD-P Zone, Central Business District Pedestrian Retail Commercial Zone, which is intended to create, maintain, and enhance areas of the Central Business District for ground-level, pedestrian-oriented, active storefront uses. Upper story spaces are intended to be available for a wide range of office and residential activities. The site is also located within the CBD height/bulk/intensity area 1, which allows a maximum building height of 55 feet. The project as proposed would slightly exceed this height at 59'8" in order to allow for a tall ground floor commercial space consistent with other buildings in the district. Staff feels that this is an acceptable variance request that would meet the required minor variance findings as it improves the visual appearance of the project in relation to other ground floor storefronts in the district and the site is located at the corner of Broadway, where typically larger buildings are present outside of the historic district.

Intensity area 1 allows for a maximum density of one dwelling unit per 300 square feet of site area, which allows for the proposed 50 dwelling units.

The project site is also located within the S-7 Preservation Combining Zone, which is intended to preserve and enhance the cultural, educational, aesthetic, environmental, and economic value of structures, other physical facilities, sites, and areas of special importance due to historical association, basic architectural merit, the embodiment of a style or special type of construction, or other special character, interest, or value, and is typically appropriate to selected older locations in the City. As noted above any new proposed development project within the S-7 Zone shall be reviewed by the Landmarks Preservation Advisory Board prior to any action on the application by the decision making body.

### *Required Design Review Findings for Approval*

The proposal must meet the following three sets of Design Review findings:

#### **17.136.050 Regular design review criteria.**

##### **A. For Residential Facilities.**

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures;
2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics;
3. That the proposed design will be sensitive to the topography and landscape;
4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill;
5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

#### **17.136.055 Special regulations for Historic Properties in the Central Business Zones.**

##### **B.2. Findings.**

- a) Any proposed new construction is compatible with the existing API in terms of massing, siting, rhythm, composition, patterns of openings, quality of material, and intensity of detailing;

- b) New street frontage has forms that reflect the widths and rhythm of the facades on the street and entrances that reflect the patterns on the street;
- c) The proposal provides high visual interest that either reflects the level and quality of visual interest of the API contributors or otherwise enhances the visual interest of the API.
- d) The proposal is consistent with the visual cohesiveness of the API. For the purpose of this finding, visual cohesiveness is the architectural character, the sum of all visual aspects, features, and materials that defines the API. A new structure contributes to the visual cohesiveness of a district if it relates to the design characteristics of a historic district while also conveying its own time. New construction may do so by drawing upon some basic building features, such as the way in which a building is located on its site, the manner in which it relates to the street, its basic mass, form, direction or orientation (horizontal vs. vertical), recesses and projections, quality of materials, patterns of openings and level of detailing. When some combination of these design variables are arranged in a new building to relate to those seen traditionally in the area, but integral to the design and character of the proposed new construction, visual cohesiveness results;
- e) Where height is a character-defining element of the API there are height transitions to any neighboring contributing historic buildings. "Character-defining elements" are those features of design, materials, workmanship, setting, location, and association that identify a property as representative of its period and contribute to its visual distinction or historical significance. APIs with a character-defining height and their character-defining height level are designated on the zoning maps; and
- f) For additions, the proposal meets either: 1) Secretary of Interior's standards for the treatment of historic resources; 2) the proposal will not adversely affect the character of the property or API; or, 3) upon the granting of a conditional use permit, (see Chapter 17.134 for the CUP procedure) and a hearing in front of the Landmarks Preservation Advisory Board for its recommendations, a project meets the additional findings in Subsection g., below.
- g) For construction of new principal buildings:
  - i. The project will not cause the API to lose its status as an API;
  - ii. The proposal will result in a building or addition with exterior visual quality, craftsmanship, detailing, and high quality and durable materials that is at least equal to that of the API contributors; and
  - iii. The proposal contains elements that relate to the character-defining height of the API, if any, through the use of a combination of upper story setbacks, window patterns, change of materials, prominent cornice lines, or other techniques. APIs with a character-defining height and their character-defining height level are designated on the zoning maps.

**17.84.040 Design review criteria for construction or alteration.**

- A. That the proposal will not substantially impair the visual, architectural, or historic value of the affected site or facility. Consideration shall be given to design, form, scale, color, materials, texture, lighting, detailing and ornamentation, landscaping, Signs, and any other relevant design element or effect, and, where applicable, the relation of the above to the original design of the affected facility.
- B. That the proposed development will not substantially impair the visual, architectural, or historic value of the total setting or character of the surrounding area or of neighboring facilities. Consideration shall be given to integration with, and subordination to, the desired overall character of any such area or grouping of facilities. All design elements or effects specified in Subsection A of this section shall be so considered.
- C. That the proposal conforms with the Design Guidelines for Landmarks and Preservation Districts as adopted by the City Planning Commission and, as applicable for certain federally related projects,

Staff feels that the project as proposed would be able to meet the required findings listed above, but would recommend minor modifications that would include the inclusion of a bulkhead along the base of the commercial storefronts that would run between the base of the pilasters and request that the applicant explore an option of including a cornice line detail to the top of the building wall given that this is a prominent feature of buildings in the district.

**RECOMMENDATION:**

- 1. Receive any testimony from the applicant or interested parties.
- 2. Provide direction to staff as to whether or not the Board finds the project as proposed appropriate to the Old Oakland Historic District.

Prepared by:



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PETERSON Z. VOLLMANN  
Planner III

Approved by:



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SCOTT MILLER  
Zoning Manager

**ATTACHMENTS:**

- A. Project Plans

# 459 8th STREET

459 8th Street  
Oakland, California

## PLANNING DEPARTMENT ENTITLEMENT SUBMITTAL 2014.10.20

### PROJECT DIRECTORY

OWNER/DEVELOPER	ARCHITECT	LANDSCAPE
SIGNATURE LAND ADVISORS 2201 BROADWAY, SUITE 604 OAKLAND, CA 94612 TEL : 510.251.9276	YHLA ARCHITECTS 1617 CLAY STREET OAKLAND, CA 94612 TEL : 510.836.6688	THE GUZZARDO PARTNERSHIP 181 GREENWICH STREET SAN FRANCISCO, CA 94111 TEL : 415.433.4672

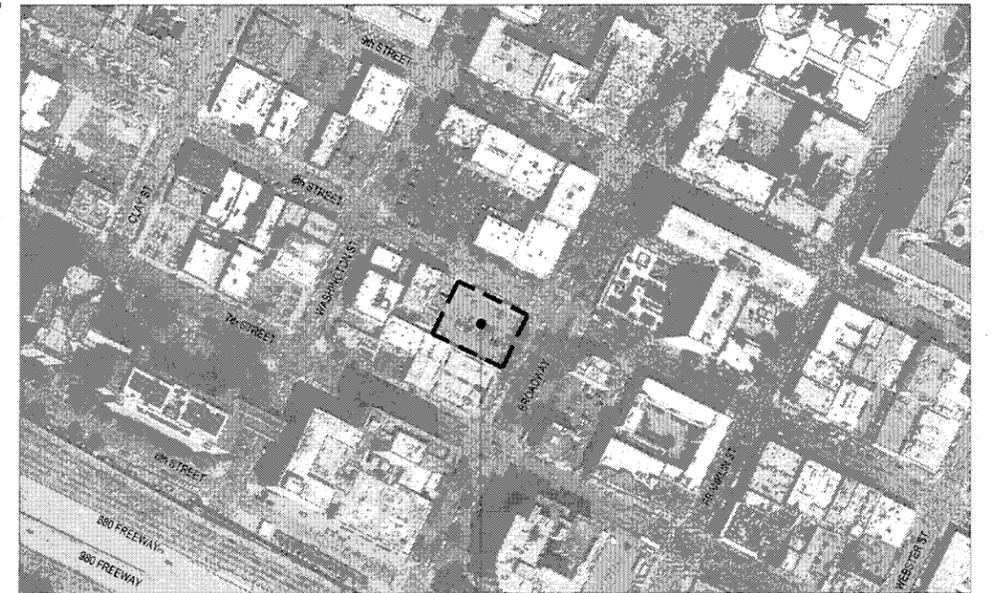
#### CIVIL ENGINEER

CALICHI DESIGN GROUP  
248 3RD ST. # 645  
OAKLAND, CA 94607  
TEL : 415.390.2452

### SHEET INDEX

A0	PROJECT INFORMATION & INDEX	A12	3D RENDERING REPRESENTATION
P1	SITE CONTEXT PHOTOGRAPHS	C1.0	PRELIMINARY SITE, PAVING AND GRADING PLAN
P2	GREEN BUILDING MATERIALS	C2.0	PRELIMINARY STORM WATER CONTROL PLAN
A1	SITE AND GROUND FLOOR PLAN	C3.0	PRELIMINARY UTILITY PLAN
A1.5	MEZZANINE PLAN	L.1	PRELIMINARY LANDSCAPE PLAN
A2	2ND FLOOR PLAN		
A3	3RD FLOOR PLAN		
A4	4TH FLOOR PLAN		
A5	5TH FLOOR PLAN		
A6	ROOF PLAN		
A7	BUILDING ELEVATIONS		
A8	BUILDING ELEVATIONS		
A9	BUILDING ELEVATIONS		
A10	BUILDING SECTIONS		
A11	COLORS & MATERIALS		

### GENERAL VICINITY PLAN - not to scale



PROJECT SITE



### PROJECT INFORMATION

#### BUILDING AND SITE

BUILDING - GROSS FLOOR AREA		67,196 SF
BUILDING OUTLINE		14,875 SF
NET SITE AREA :	BUILDING SITE - 0.34 ACRES (15,000 SF)	
FLOOR AREA RATIO :	GFA = 67,196 SF	4.48
	NET SITE AREA = 15,000 SF	
BUILDING COVERAGE :	BLDG. OUTLINE = 14,875 SF	99
	NET SITE AREA = 15,000 SF	
PROJECT HOUSING DENSITY :	NUMBER OF UNITS = 50	147 DU/AC
	SITE AREA = 34 acres	

#### BUILDING CODE

SEISMIC ZONE :	4
CONSTRUCTION TYPE :	TYPE V-A OVER TYPE I PODIUM
OCCUPANCY GROUP :	R-2 / M
BUILDING HEIGHT / NUMBER OF STORES :	59'-8" / 5 STORIES
USE :	MULTI-FAMILY RESIDENTIAL / COMMERCIAL
ZONING DESIGNATION :	CBD-P/S-7
CODE EDITION :	2013 CALIFORNIA BUILDING STANDARDS CODE

#### RESIDENTIAL UNIT MIX

	STUDIO	1 - BEDROOM	2 - BEDROOM	2 - BEDROOM TOWN
GROUND LEVEL	0	0	0	0
2ND LEVEL	0	5	7	2
3RD LEVEL	0	4	8	0
4TH LEVEL	0	4	8	0
5TH LEVEL	0	4	8	0
TOTAL	0	17	31	2

TOTAL UNITS: 50

#### BUILDING AREA

	RESIDENTIAL	COMMERCIAL	OTHER	GROSS PER FLOOR
GROUND LEVEL	-	4,070 SF	10,805	14,875 SF
2ND LEVEL MEZZ.	-	-	2,256 SF	2,256 SF
2ND LEVEL	11,338 SF	-	1,614 SF	12,952 SF
3RD LEVEL	11,476 SF	-	1,743 SF	13,219 SF
4TH LEVEL	10,242 SF	-	1,743 SF	11,985 SF
5TH LEVEL	10,165 SF	-	1,744 SF	11,909 SF
TOTAL	40,840 SF	4,070 SF	2,185 SF	67,196 SF

#### RESIDENTIAL PARKING

	OFF-STREET PARKING SPACES	ACCESSIBLE PARKING SPACES	TOTAL
PARKING SPACES PROVIDED	49	2	51

PARKING REQUIRED: NONE, PER TABLE 17.116.080 AND 17.116.080 FOR CBD-P ZONE

#### OPEN SPACE

	GROUP OPEN SPACE (COURTYARDS/DECK)	PRIVATE OPEN SPACE (BALCONIES/PATIOS)	
	PROVIDED	PROVIDED	
1ST FLOOR	-	-	
2ND FLOOR	675 SF	2 x (388 SF) = 776 SF	
3RD FLOOR	-	271 SF	
4TH FLOOR	-	271 SF	
5TH FLOOR	-	146 SF	
ROOF	1,875 SF	-	
TOTAL PROVIDED	2,550 SF	1,464 SF	TOTAL COMBINED: 4,014 SF

TOTAL OPEN SPACE REQUIRED: 3,750 S.F. (PER 17.58.070-C1, 75 S.F. PER UNIT)

**CONTEXT PHOTOGRAPHS - 8TH STREET, PROJECT SIDE**



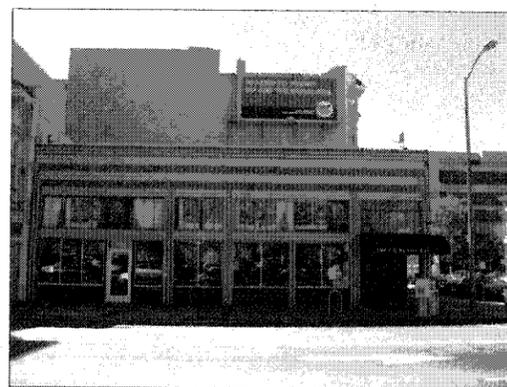
475 8TH STREET



487 8TH STREET



489 8TH STREET



736 WASHINGTON STREET



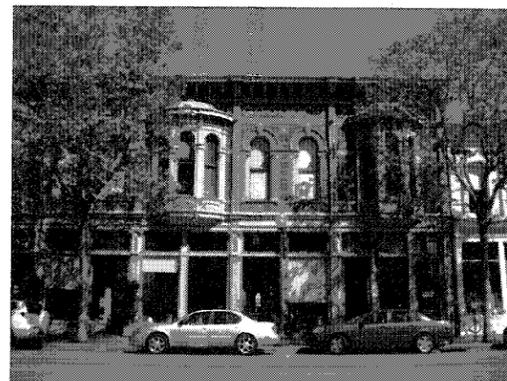
CONTEXT PLAN:  
NOT TO SCALE



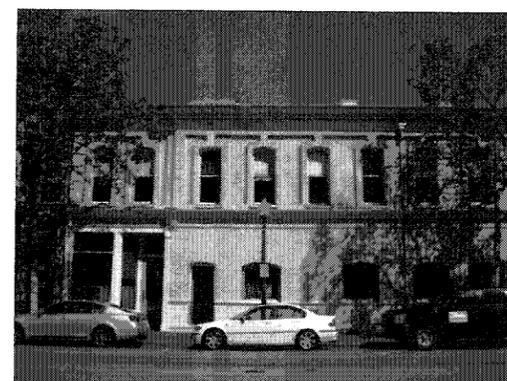
**CONTEXT PHOTOGRAPHS - 8TH STREET, OPPOSITE SIDE**



478 8TH STREET



486 8TH STREET

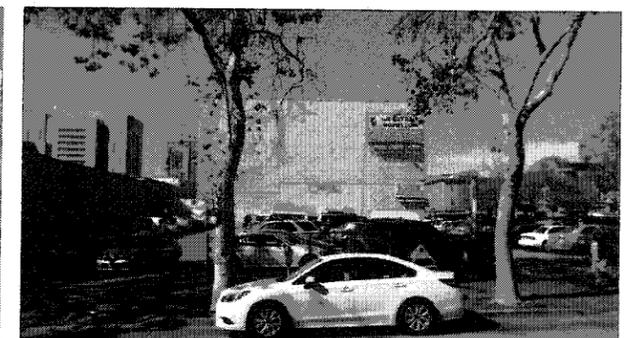


488 8TH STREET

**SITE PHOTOGRAPHS**



VIEW OF PROJECT SITE FROM 8TH STREET AND BROADWAY



VIEW OF PROJECT SITE FROM BROADWAY



SIDE VIEW OF PROJECT SITE FROM 8TH STREET



REAR VIEW OF PROJECT SITE FROM BROADWAY

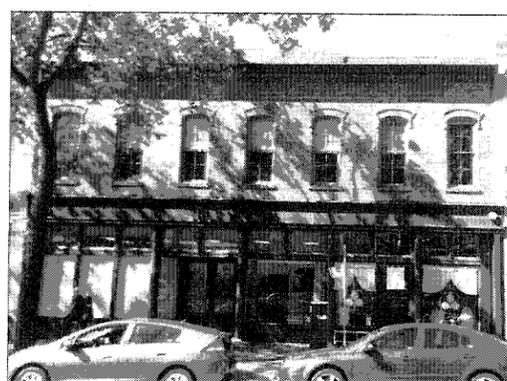
**CONTEXT PHOTOGRAPHS - BROADWAY, OPPOSITE SIDE**



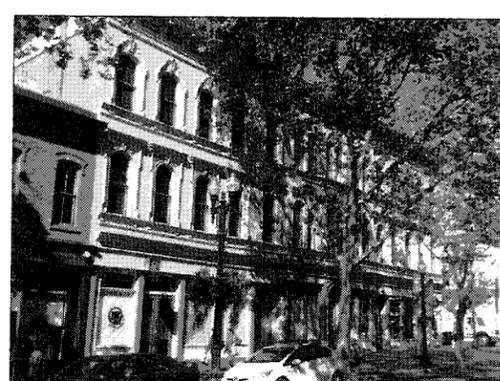
705 BROADWAY



801 BROADWAY



815 BROADWAY



825 BROADWAY

**GreenPoint Rated**  
**MULTIFAMILY CHECKLIST**

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (3) Energy (22), Indoor Air Quality/Health (6), Resources (6), and Water (8); and meet the prerequisites: CALGreen Mandatory, ES.2, HB.1, JS.1, OI, O7.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit [www.builditgreen.org/greenpointrated](http://www.builditgreen.org/greenpointrated)

Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. This is the public version of the Checklist and cannot be used for certification.

Total Points Targeted: 0  
 Certification Level:  
 Points Required: 50  
 Minimum Points: 50  
 Targeted Points: 0

New Home Multifamily Version 6.0

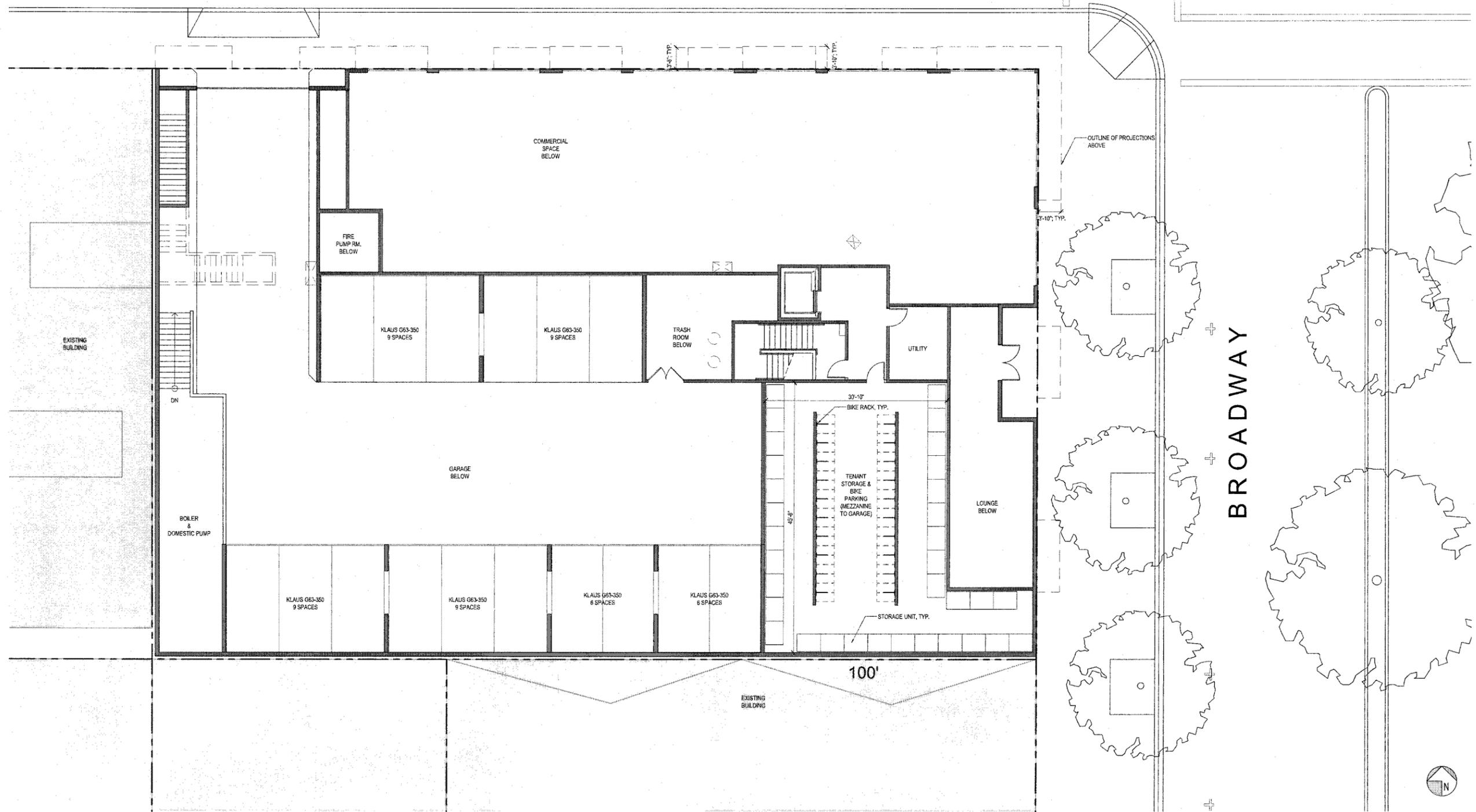
Points Achieved	Community	Energy	Indoor Air Quality/Health	Resources	Water	Notes
<b>CALEN</b>						
Yes	Yes	Yes	Yes	Yes	Yes	CALEN Res. 1426, 1425
<b>A. SITE</b>						
TBD						A1. Construction Footprint
Yes						A2.1 Job Site Construction Waste Diversion
Yes	2			2		A2.1 65% C&D Waste Diversion (Including Alternative Daily Cover)
Yes						A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)
TBD						A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility
TBD						A3. Recycled Content Base Material
TBD						A4. Heat Island Effect Reduction (Non-Roof)
TBD						A5. Construction Environmental Quality Management Plan Including Flush-Out
TBD						A6. Stormwater Control: Prescriptive Path
TBD						A6.1 Permeable Paving Material
TBD						A6.2 Filtration and/or Bio-Retention Features
TBD						A6.3 Non-Leaching Roofing Materials
TBD						A6.4 Smart Stormwater Street Design
TBD						A7. Stormwater Control: Performance Path
<b>B. FOUNDATION</b>						
TBD						B1. Fly Ash and/or Slag in Concrete
TBD						B2. Radon-Resistant Construction
TBD						B3. Foundation Drainage System
TBD						B4. Moisture Controlled Crawlspace
TBD						B5. Structural Pest Controls
TBD						B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections
TBD						B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation
<b>C. LANDSCAPE</b>						
5.0%						Enter the landscape area percentage
Yes						C1. Plants Grouped by Water Needs (Hydrozoning)
TBD						C2. Three Inches of Mulch in Planting Beds
Yes						C3. Resource Efficient Landscapes
Yes						C3.1 No Invasive Species Listed by CalIPC
Yes						C3.2 Plants Chosen and Located to Grow to Natural Size
Yes						C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species
TBD						C4. Minimal Turf in Landscape
TBD						C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide
TBD						C4.2 Turf on a Small Percentage of Landscaped Area
TBD						C5. Treat to Moderate Building Temperature
Yes						C6. High-Efficiency Irrigation System
TBD						C7. One Inch of Compost in the Top Six to Twelve Inches of Soil
TBD						C8. Rainwater Harvesting System
TBD						C9. Recycled Wastewater Irrigation System
Yes						C10. Submeter or Dedicated Meter for Landscape Irrigation
TBD						C11. Landscape Meets Water Budget
TBD						C12. Environmentally Preferable Materials for Site Elements and Fencing
TBD						C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing
TBD						C12.2 Play Structures and Surfaces Have an Average Recycled Content >20%
TBD						C13. Reduced Light Pollution
TBD						C14. Large Stature Trees
TBD						C15. Third-Party Landscape Program Certification
TBD						C16. Maintenance Contract with Certified Professional
TBD						C17. Community Garden
<b>D. STRUCTURAL FRAME AND BUILDING ENVELOPE</b>						
TBD						D1. Optimal Value Engineering
TBD						D1.1 Joists, Rafters, and Studs at 24 Inches on Center
TBD						D1.2 Non-Load Bearing Door and Window Headers Sized for Load
TBD						D1.3 Advanced Framing Measures
TBD						D2. Construction Material Efficiency
TBD						D3. Engineered Lumber
Yes						D3.1 Engineered Beams and Headers
TBD						D3.2 Wood Joists or Web Trusses for Floors
TBD						D3.3 Engineered Lumber for Roof Rafters
TBD						D3.4 Engineered or Finger-Jointed Studs for Vertical Applications
Yes						D3.5 OSB for Subfloor
Yes						D3.6 OSB for Wall and Roof Sheathing
TBD						D4. Insulated Headers
TBD						D5. FSC-Certified Wood
TBD						D5.1 Dimensional Lumber, Studs, and Timber
TBD						D5.2 Panel Products
TBD						D6. Solid Wall Systems
TBD						D6.1 At Least 90% of Floors
TBD						D6.2 At Least 90% of Exterior Walls
TBD						D6.3 At Least 90% of Roofs
TBD						D7. Energy Heels on Roof Trusses
TBD						D8. Overhangs and Gutters
TBD						D9. Reduced Pollution Entering the Home from the Garage
TBD						D9.1 Detached Garage
TBD						D9.2 Mitigation Strategies for Attached Garage
TBD						D10. Structural Pest and Rot Controls
TBD						D10.1 All Wood Located At Least 12 Inches Above the Soil
TBD						D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall Materials Other Than Wood
Yes						D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)

Points Achieved	Community	Energy	Indoor Air Quality/Health	Resources	Water	Notes
<b>E. EXTERIOR</b>						
Yes						E1. Environmentally Preferable Decking
TBD						E2. Raining Installation Third-Party Verified
TBD						E3. Rain Screen Wall System
Yes						E4. Durable and Non-Combustible Cladding Materials
Yes						E5. Durable Roofing Materials
TBD						E5.1 Durable and Fire Resistant Roofing Materials or Assembly
TBD						E5.2 Roofing Warranty for Shingle Roofing
TBD						E6. Vegetated Roof
<b>F. INSULATION</b>						
Yes						F1. Insulation with 50% Post-Consumer or 60% Post-Industrial Recycled Content
Yes						F1.1 Walls and Floors
Yes						F1.2 Ceilings
Yes						F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions
Yes						F2.1 Walls and Floors
Yes						F2.2 Ceilings
Yes						F3. Insulation That Does Not Contain Fire Retardants
Yes						F3.1 Cavity Walls and Floors
Yes						F3.2 Ceilings
Yes						F3.3 Interior and Exterior Insulation
<b>G. PLUMBING</b>						
Yes						G1. Efficient Distribution of Domestic Hot Water
Yes						G1.1 Insulated Hot Water Pipes
TBD						G1.2 Water-Sense Volume Limit for Hot Water Distribution
TBD						G1.3 Increased Efficiency in Hot Water Distribution
Yes						G2. Install Water-Efficient Fixtures
Yes						G2.1 Water-Sense Showerheads with Matching Compensation Valve
TBD						G2.2 Water-Sense Bathroom Faucets
Yes						G2.3 Water-Sense Toilets with a Maximum Performance (MP) Threshold of No Less Than 500 Grams
TBD						G2.4 Urinals with Flush Rate of ≤ 0.1 Gallons/Flush
TBD						G3. Pre-Plumbing for Graywater System
TBD						G4. Operational Graywater System
Yes						G6. Submeter Water for Tenants
<b>H. HEATING, VENTILATION, AND AIR CONDITIONING</b>						
TBD						H1. Sealed Combustion Units
TBD						H1.1 Sealed Combustion Furnace
TBD						H1.2 Sealed Combustion Water Heater
TBD						H2. High Performing Zoned Hydronic Radiant Heating System
TBD						H3. Effective Ductwork
TBD						H3.1 Duct Mastic on Duct Joints and Seams
TBD						H3.2 Pressure Balance the Ductwork System
Yes						H4. ENERGY STAR® Bathroom Fans Per HVJ Standards with Air Flow Verified
TBD						H5. Advanced Practices for Cooling
TBD						H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms
TBD						H5.2 High Performance and Sustainable Practices for Cooling Practices in at Least One Room in 80% of Units
Yes						H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality
Yes						H6.1 Meet ASHRAE Standard 62.2-2012 Ventilation Residential Standards
TBD						H6.2 Advanced Ventilation Standards
TBD						H6.3 Outdoor Air Ducted to Bedroom and Living Areas
TBD						H7. Effective Range Design and Installation
TBD						H7.1 Effective Range Hood Ducting and Design
TBD						H7.2 Automatic Range Hood Control
<b>I. RENEWABLE ENERGY</b>						
TBD						I1. Pre-Plumbing for Solar Water Heating
Yes						I2. Preparation for Future Photovoltaic Installation
TBD						I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)
TBD						I4. Net Zero Energy Home
TBD						I4.1 Net Zero Energy Home
TBD						I4.2 Net Zero Electric
TBD						I5. Solar Hot Water Systems to Preheat Domestic Hot Water
TBD						I6. Photovoltaic System for Multifamily Projects
<b>J. BUILDING PERFORMANCE AND TESTING</b>						
TBD						J1. Third-Party Verification of Quality of Insulation Installation
TBD						J2. Supply and Return Air Flow Testing
TBD						J3. Mechanical Ventilation Testing and Low Leakage
TBD						J4. Combustion Appliance Safety Testing
2008						J5. Building Performance Exceeds Title 24 Part 6
15.0%						J5.1 Home Outperforms Title 24
TBD						J5.2 Non-Residential Spaces Outperform Title 24
TBD						J6. Title 24 Prepared and Signed by a CEMEC-Certified Energy Analyst
TBD						J7. Participation in Utility Program with Third-Party Plan Review
TBD						J8. ENERGY STAR for Homes
Yes						J9. EPA Indoor airPlus Certification
<b>K. FINISHES</b>						
TBD						K1. Entrypways Designed to Reduce Tracked-In Contaminants
TBD						K1.1 Entrypways to Individual Units
TBD						K1.2 Entrypways to Buildings
Yes						K2. Zero-VOC Interior Wall and Ceiling Paints
Yes						K3. Low-VOC Caulks and Adhesives
Yes						K4. Environmentally Preferable Materials for Interior Finish
≥50%						K4.1 Cabinets
≥50%						K4.2 Interior Trim
TBD						K4.3 Shelving
≥50%						K4.4 Doors
TBD						K4.5 Countertops
TBD						K5. Formaldehyde Emissions in Interior Finish Exceed CARB
TBD						K5.1 Doors
TBD						K5.2 Cabinets and Countertops
TBD						K5.3 Interior Trim and Shelving
TBD						K6. Products That Comply With the Health Product Declaration Open Standard
TBD						K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion
Yes						K8. Comprehensive Inclusion of Low-Emitting Finishes
TBD						K9. Durable Cabinets
TBD						K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes

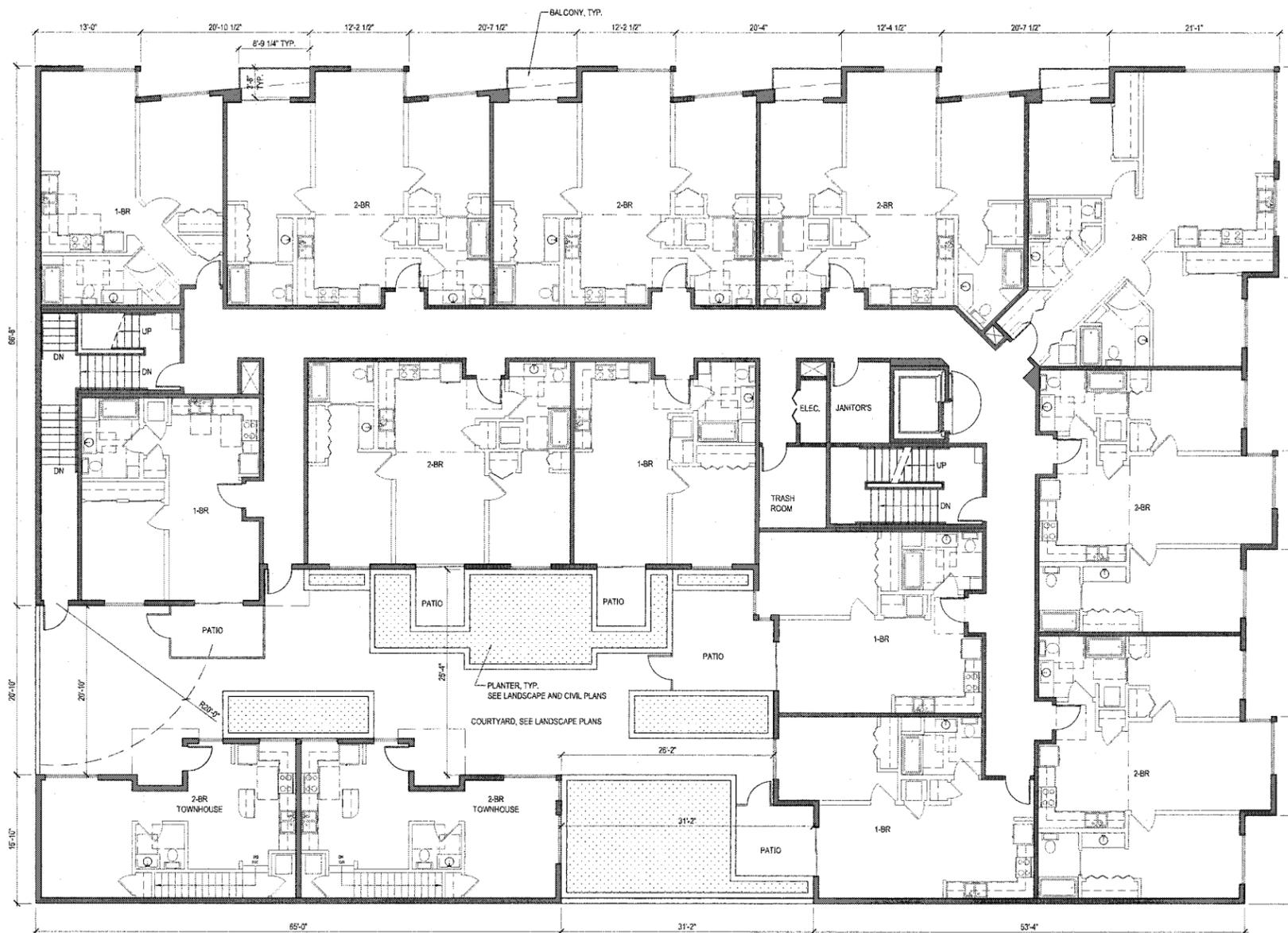
Points Achieved	Community	Energy	Indoor Air Quality/Health	Resources	Water	Notes
<b>L. FLOORING</b>						
TBD						L1. Environmentally Preferable Flooring
≥50%						L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential
TBD						L3. Durable Flooring
TBD						L4. Thermal Mass Flooring
<b>M. APPLIANCES AND LIGHTING</b>						
Yes						M1. ENERGY STAR Dishwasher
TBD						M2. CEE-Rated Clothes Washer
<25 cubic feet						M3. Size-Efficient ENERGY STAR Refrigerator
TBD						M4. Permanent Centers for Waste Reduction Strategies
TBD						M4.1 Built-In Recycling Center
TBD						M4.2 Built-In Composting Center
Yes						M5. Lighting Efficiency
Yes						M5.1 High-Efficacy Lighting
TBD						M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant
TBD						M6. Central Laundry
Yes						M7. Gearless Elevator
<b>N. COMMUNITY</b>						
Yes						N1. Smart Development
TBD						N1.1 Infill Site
TBD						N1.2 Designated Brownfield Site
>35						N1.3 Conserve Resources by Increasing Density
TBD						N1.4 Cluster Homes for Land Preservation
TBD						N1.5 Home Size Efficiency
Enter the area of the home, in square feet						
Enter the number of bedrooms						
Yes						N2. Home(s) Development Located Within 1/2 Mile of a Major Transit Stop
Pedestrian and Bicycle Access						
TBD						N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services
Enter the number of Tier 1 services						
Enter the number of Tier 2 services						
Yes						N3.2 Connection to Pedestrian Pathways
TBD						N3.3 Traffic Calming Strategies
TBD						N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide
Yes						N3.5 Bicycle Storage for Residents
TBD						N3.6 Bicycle Storage for Non-Residents
TBD						N3.7 Reduced Parking Capacity
Yes						N4. Outdoor Gathering Places
TBD						N4.1 Public or Semi-Public Outdoor Gathering Places for Residents
TBD						N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services
<b>NE. Social Interaction</b>						
TBD						NE.1 Residence Entires with Views to Caltrans
TBD						NE.2 Entrances Visible from Street and/or Other Front Doors
TBD						NE.3 Porches Oriented to Street and Public Space
Yes						NE.4 Social Gathering Space
<b>NE. Passive Solar Design</b>						
TBD				</		



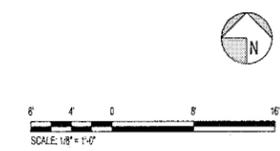
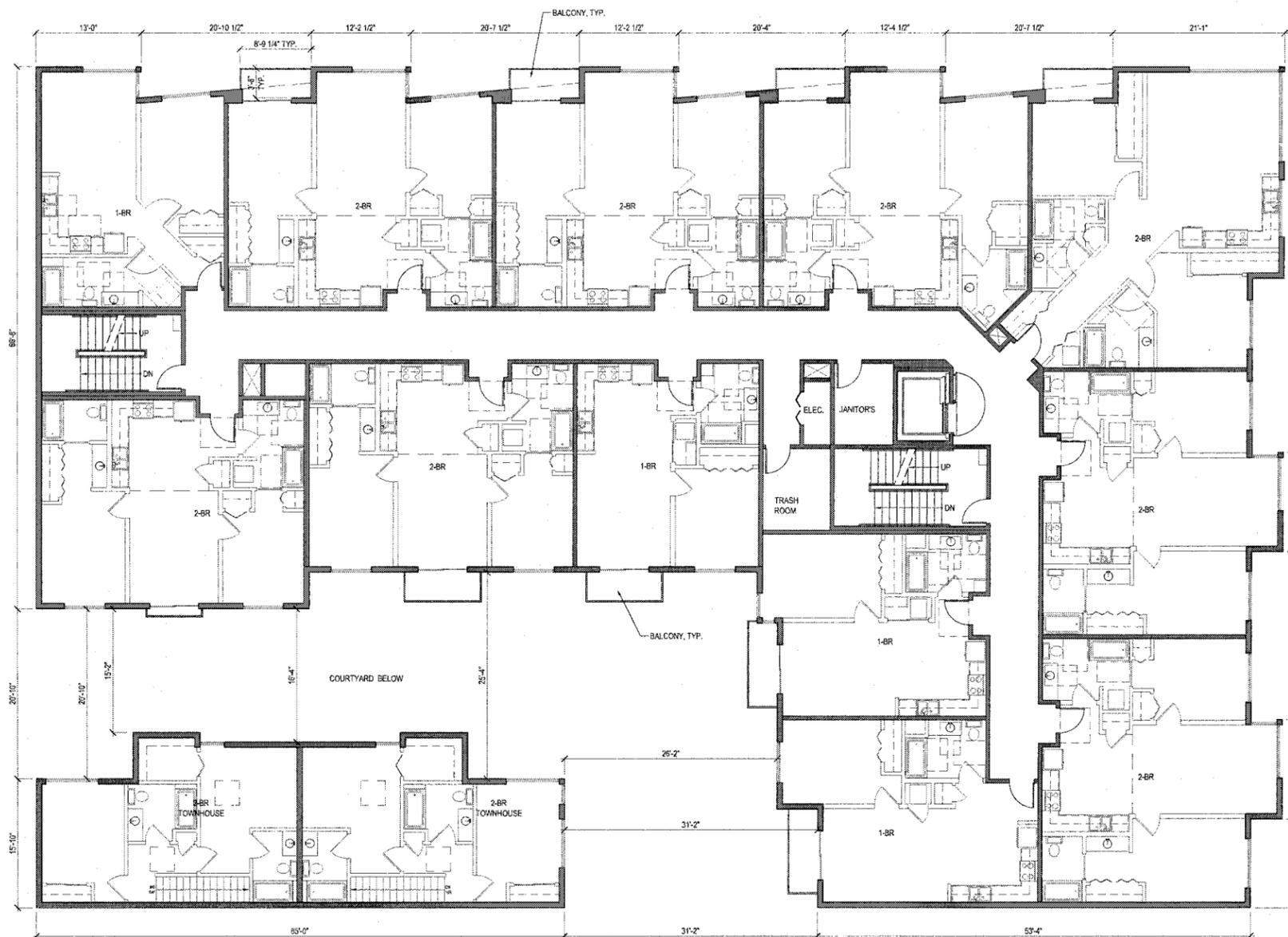
8TH STREET



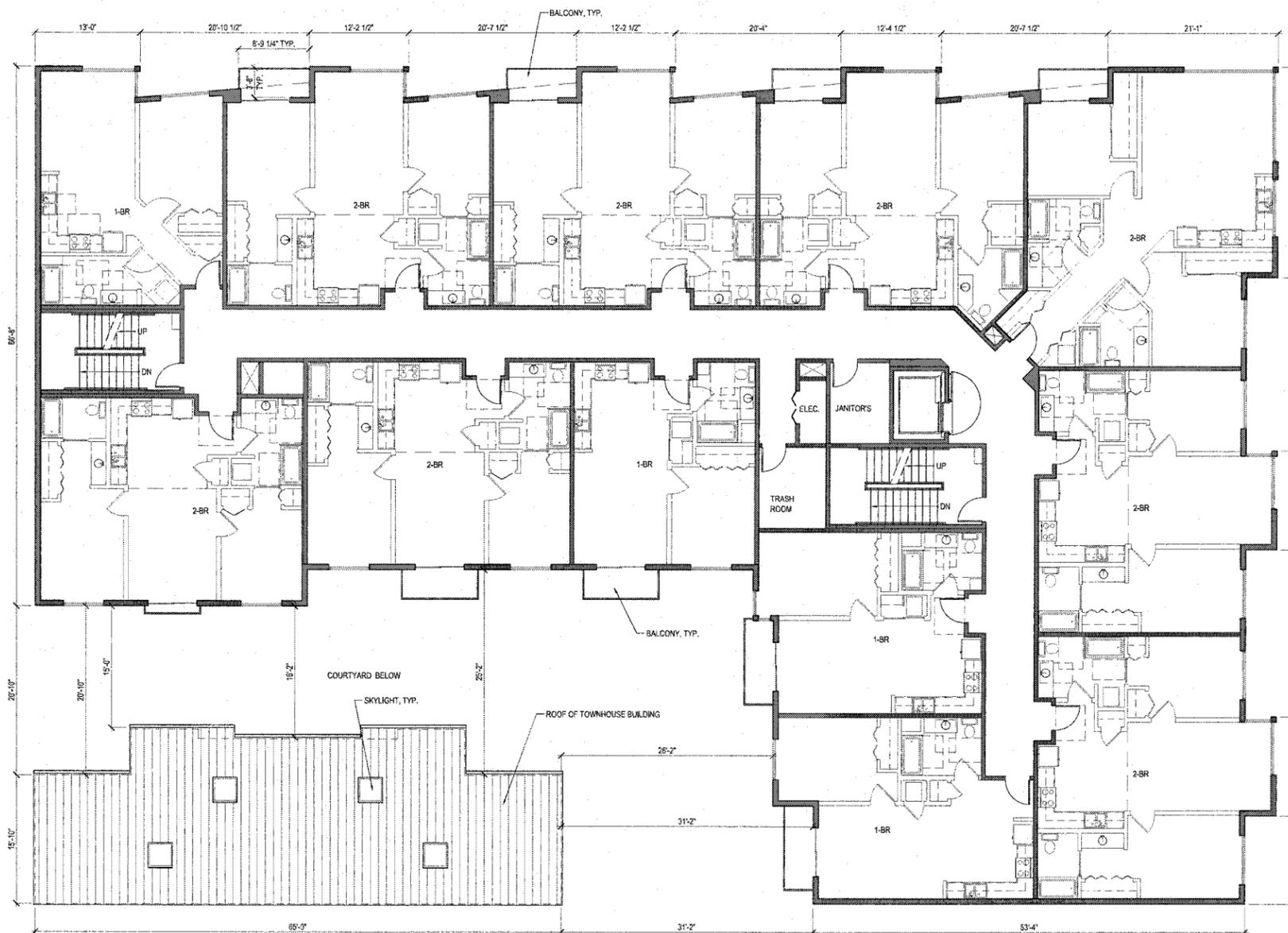
MEZZANINE FLOOR PLAN



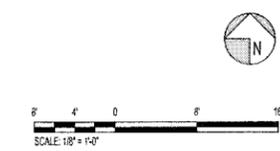
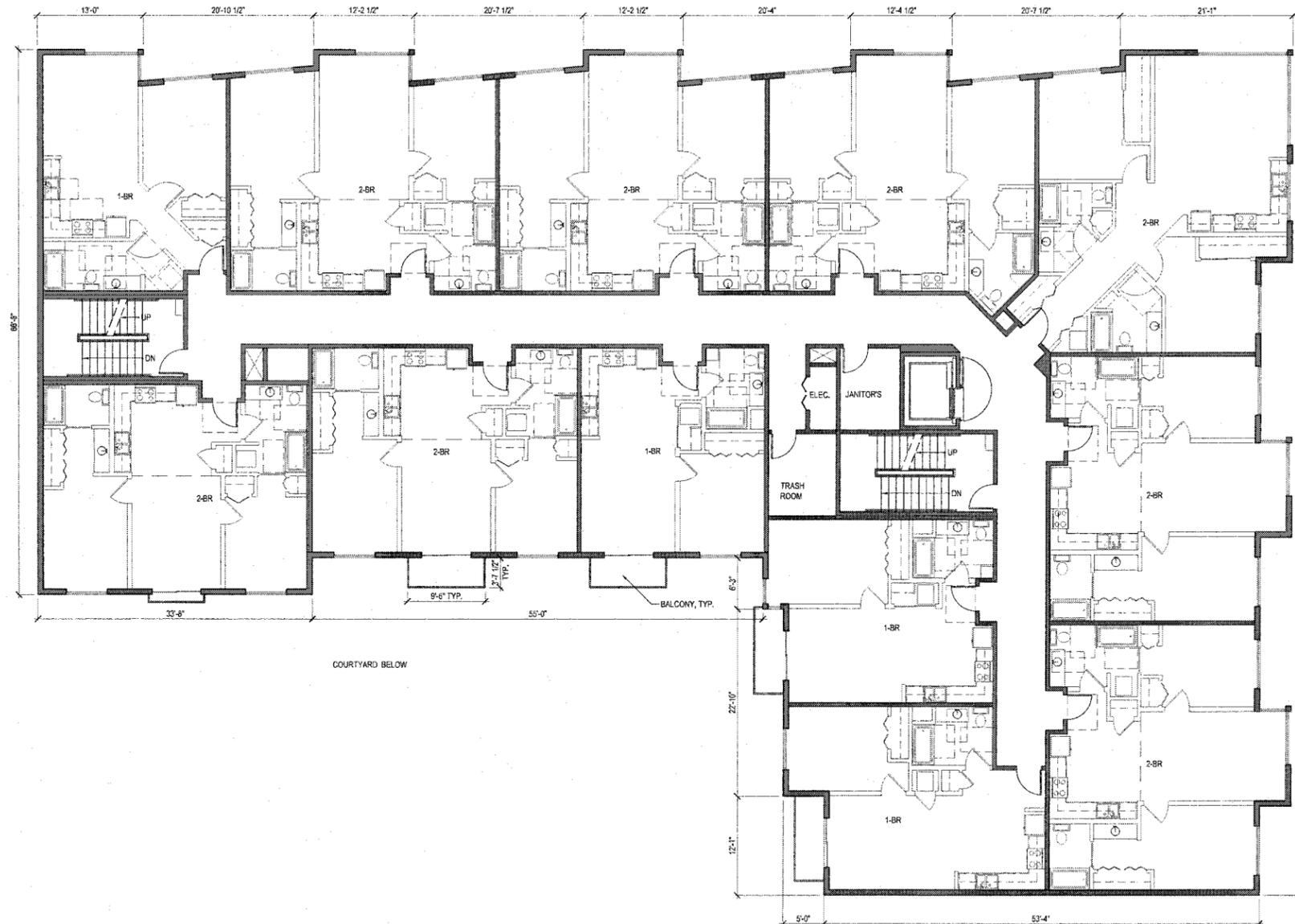
**2ND FLOOR PLAN**



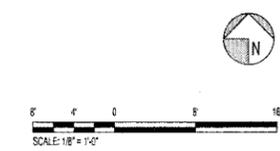
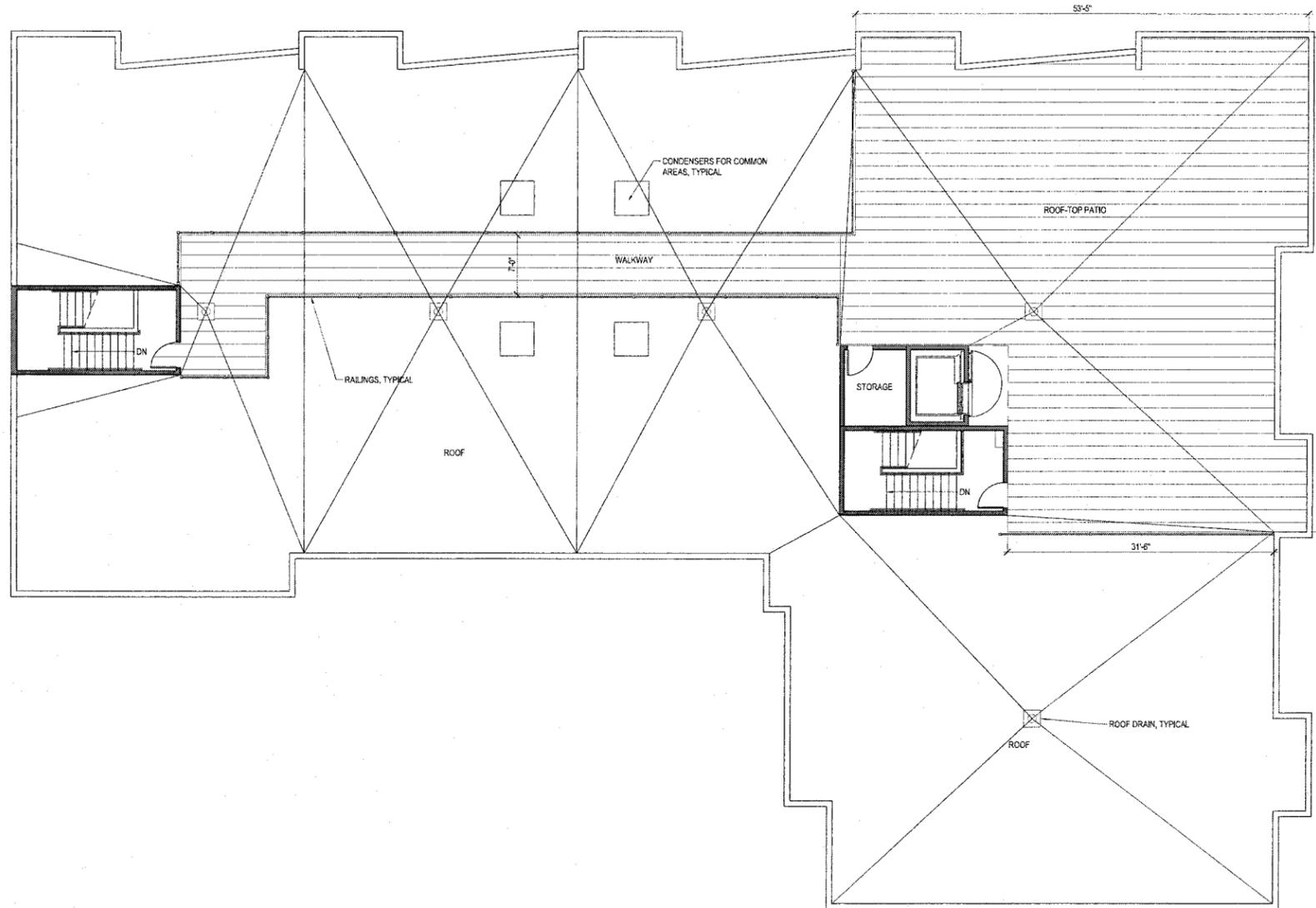
**3RD FLOOR PLAN**



**4TH FLOOR PLAN & TOWNHOUSE ROOF PLAN**



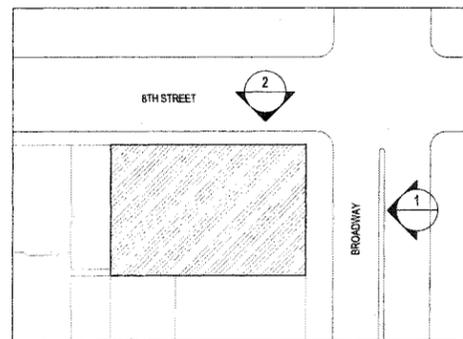
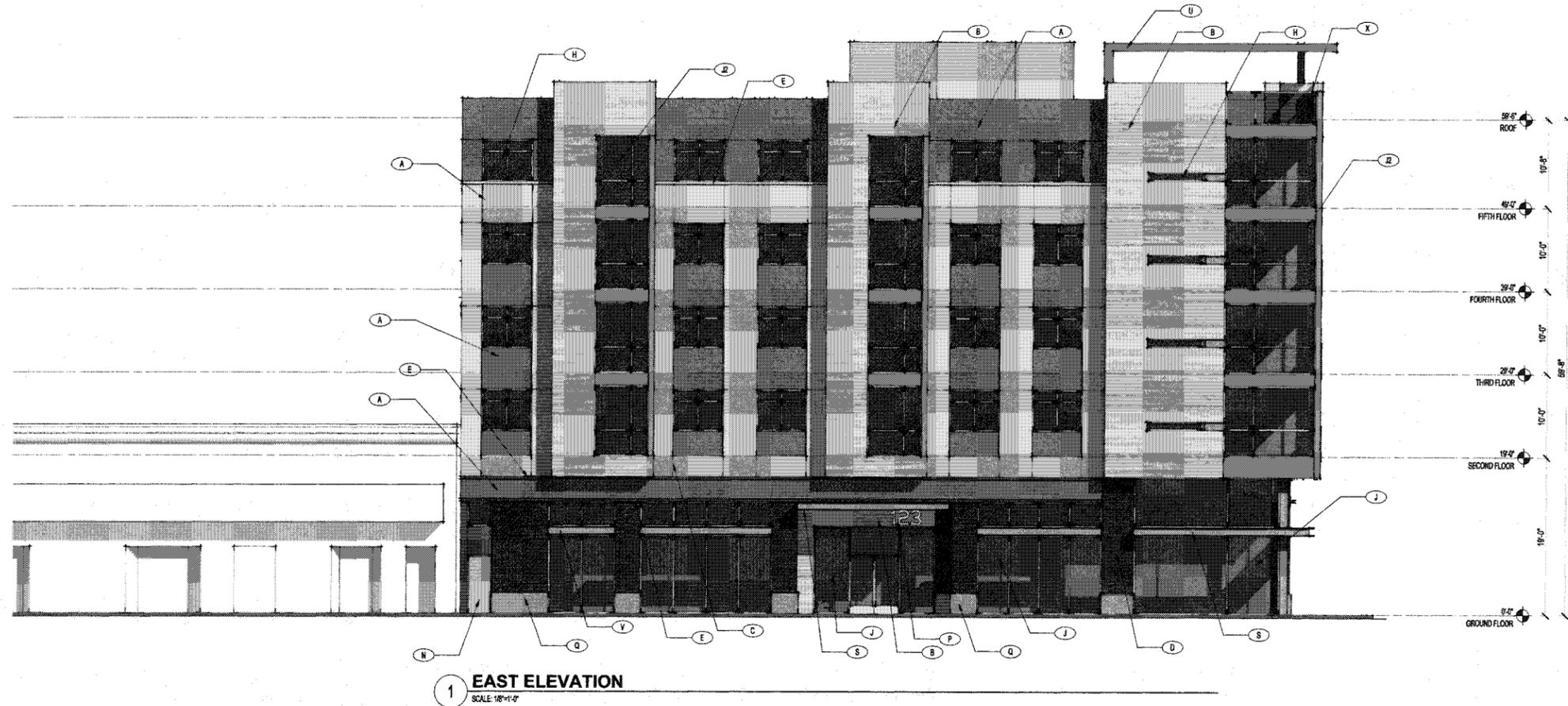
**5TH FLOOR PLAN**



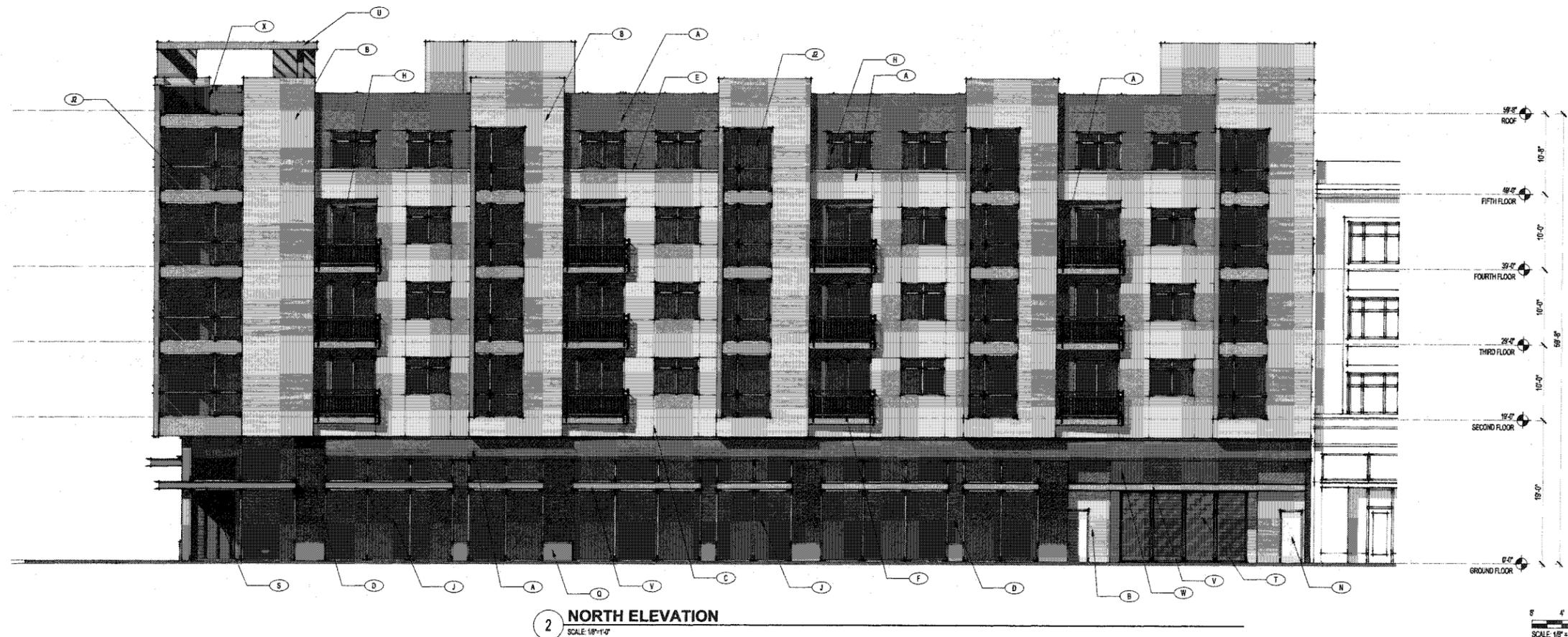
**ROOF PLAN**

**LEGEND**

- A CEMENT PLASTER SYSTEM; TYPICAL
- B FIBER CEMENT SIDING & TRIM; TYPICAL
- C CEMENT PLASTER CONTROL JOINT; TYPICAL
- D BRICK VENEER; TYPICAL
- E MOLDING WITH CEMENT PLASTER FINISH; TYPICAL
- F PAINTED METAL BALCONY RAILING; TYPICAL
- G STANDING SEAM METAL ROOF
- H WINDOW SYSTEM; TYPICAL
- J COMMERCIAL STOREFRONT SYSTEM; TYPICAL
- J2 STOREFRONT WINDOW SYSTEM; TYPICAL
- K SKYLIGHT
- L NOT USED
- M NOT USED
- N PAINTED METAL SERVICE DOOR; TYPICAL
- P METAL CHANNEL LETTER ADDRESS SIGNAGE
- Q CAST STONE BASE
- R PAINTED METAL & WOOD SUNSCREEN; TYPICAL
- S PAINTED METAL OVERHANG
- T PAINTED METAL GARAGE DOOR WITH PERFORATED INFILL PANELS
- U PAINTED METAL TRELLIS ASSEMBLY
- V PAINTED METAL SPANDREL
- W PAINTED PERFORATED METAL VENTILATION SCREEN
- X GLASS ROOF-DECK RAILING WITH METAL FRAME
- Y STAINED WOOD AND PAINTED METAL SUNSCREEN ASSEMBLY

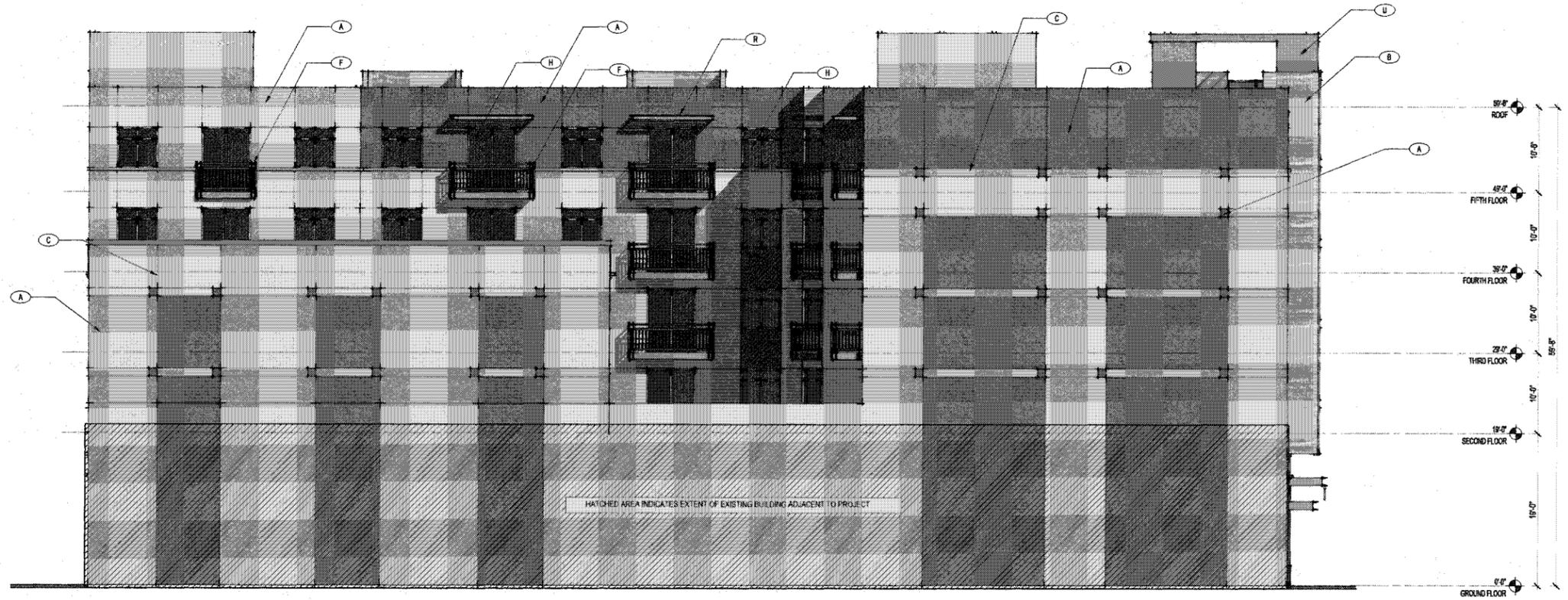


KEY PLAN:  
NOT TO SCALE

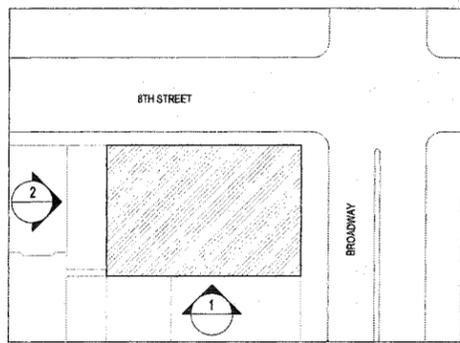


**LEGEND**

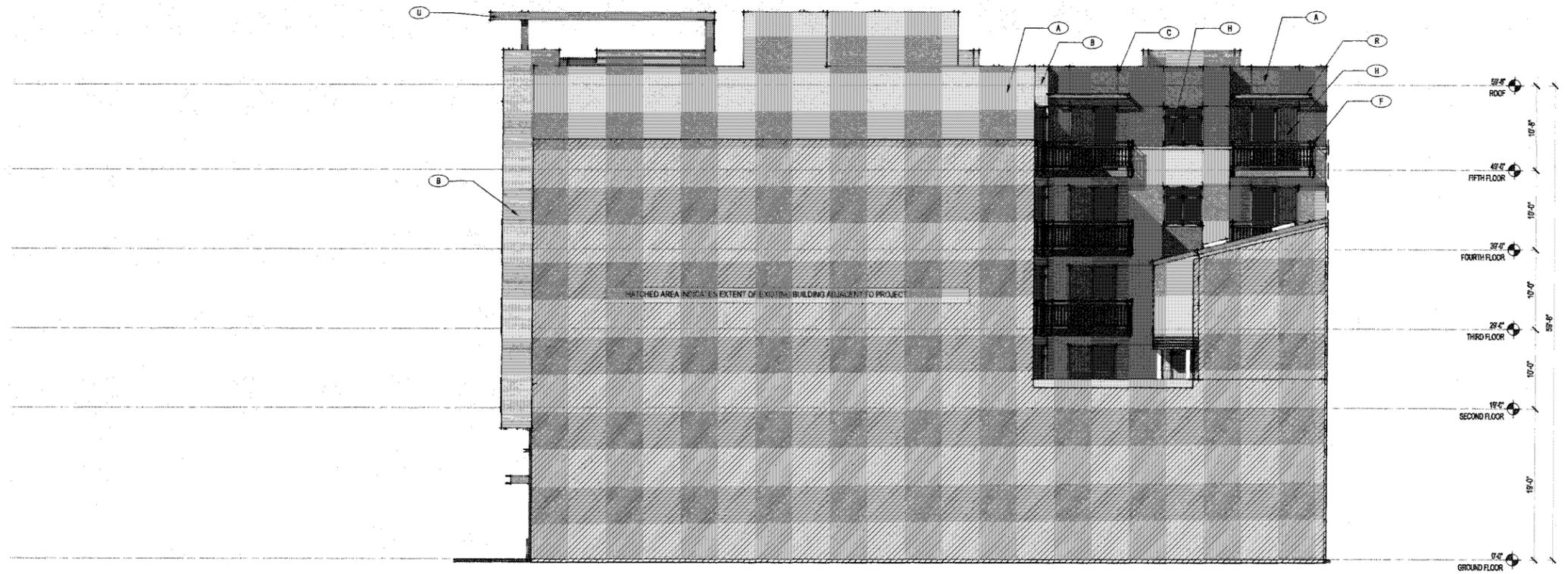
- A CEMENT PLASTER SYSTEM, TYPICAL
- B FIBER CEMENT SIDING & TRIM, TYPICAL
- C CEMENT PLASTER CONTROL JOINT, TYPICAL
- D BRICK VENEER, TYPICAL
- E MOLDING WITH CEMENT PLASTER FINISH, TYPICAL
- F PAINTED METAL BALCONY RAILING, TYPICAL
- G STANDING SEAM METAL ROOF
- H WINDOW SYSTEM, TYPICAL
- J COMMERCIAL STOREFRONT SYSTEM, TYPICAL
- J2 STOREFRONT WINDOW SYSTEM, TYPICAL
- K SKYLIGHT
- L NOT USED
- M NOT USED
- N PAINTED METAL SERVICE DOOR, TYPICAL
- P METAL CHANNEL LETTER ADDRESS SIGNAGE
- Q CAST STONE BASE
- R PAINTED METAL & WOOD SUNSCREEN, TYPICAL
- S PAINTED METAL OVERHANG
- T PAINTED METAL GARAGE DOOR WITH PERFORATED INFILL PANELS
- U PAINTED METAL TRELLIS ASSEMBLY
- V PAINTED METAL SPANDREL
- W PAINTED PERFORATED METAL VENTILATION SCREEN
- X GLASS ROOF-DECK RAILING WITH METAL FRAME
- Y STAINED WOOD AND PAINTED METAL SUNSCREEN ASSEMBLY



**1 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**KEY PLAN:**  
NOT TO SCALE

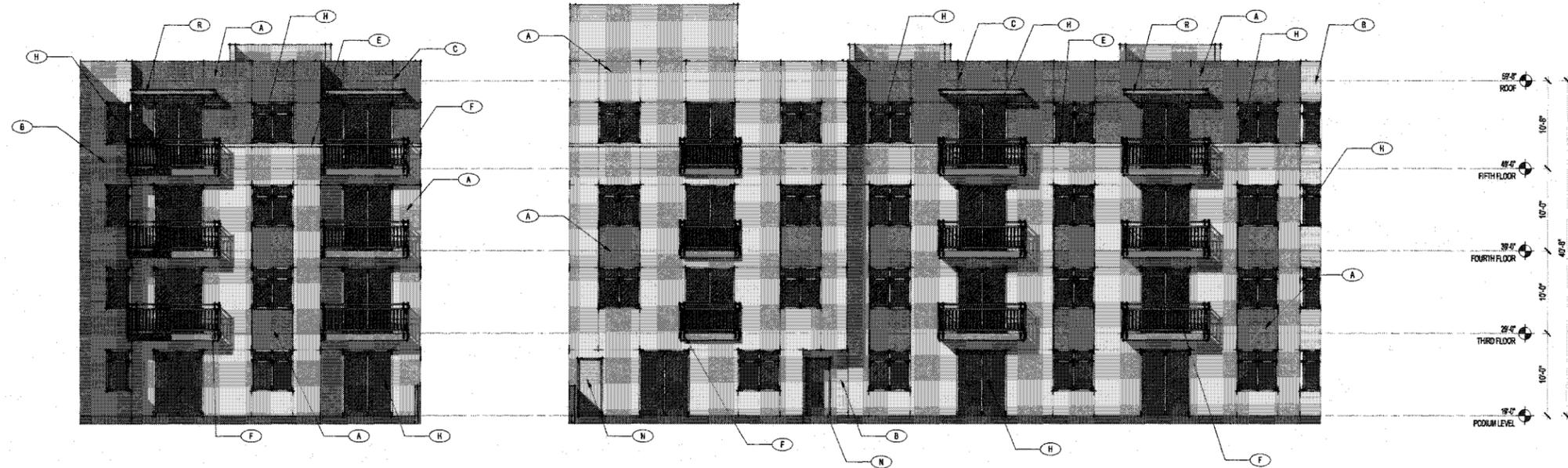


**2 WEST ELEVATION**  
SCALE: 1/8"=1'-0"



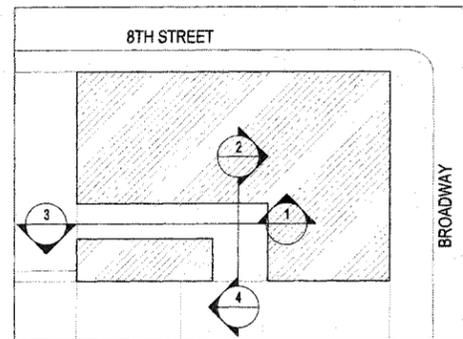
**LEGEND**

- A CEMENT PLASTER SYSTEM, TYPICAL
- B FIBER CEMENT SIDING & TRIM, TYPICAL
- C CEMENT PLASTER CONTROL JOINT, TYPICAL
- D BRICK VENEER, TYPICAL
- E MOLDING WITH CEMENT PLASTER FINISH, TYPICAL
- F PAINTED METAL BALCONY RAILING, TYPICAL
- G STANDING SEAM METAL ROOF
- H WINDOW SYSTEM, TYPICAL
- J COMMERCIAL STOREFRONT SYSTEM, TYPICAL
- J2 STOREFRONT WINDOW SYSTEM, TYPICAL
- K SKYLIGHT
- L NOT USED
- M NOT USED
- N PAINTED METAL SERVICE DOOR, TYPICAL
- P METAL CHANNEL LETTER ADDRESS SIGNAGE
- Q CAST STONE BASE
- R PAINTED METAL & WOOD SUNSCREEN, TYPICAL
- S PAINTED METAL OVERHANG
- T PAINTED METAL GARAGE DOOR WITH PERFORATED INFILL PANELS
- U PAINTED METAL TRELLIS ASSEMBLY
- V PAINTED METAL SPANDREL
- W PAINTED PERFORATED METAL VENTILATION SCREEN
- X GLASS ROOF-DECK RAILING WITH METAL FRAME
- Y STAINED WOOD AND PAINTED METAL SUNSCREEN ASSEMBLY

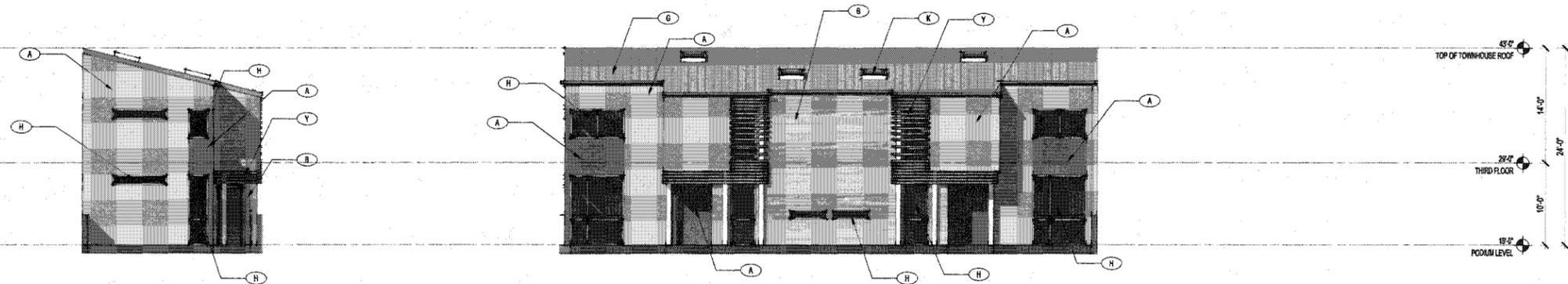


**2 WEST COURTYARD ELEVATION**  
SCALE: 1/8"=1'-0"

**1 SOUTH COURTYARD ELEVATION**  
SCALE: 1/8"=1'-0"



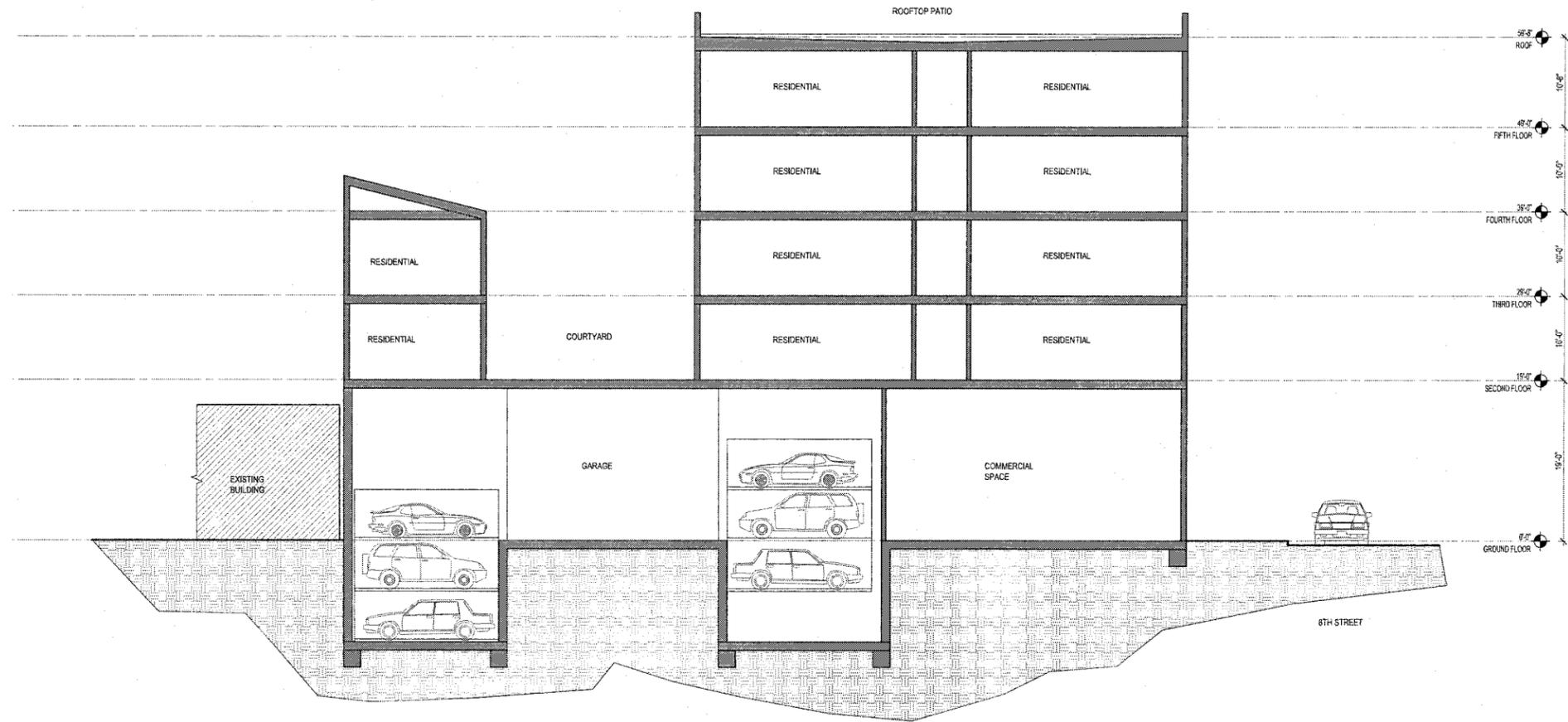
**KEY PLAN:**  
NOT TO SCALE



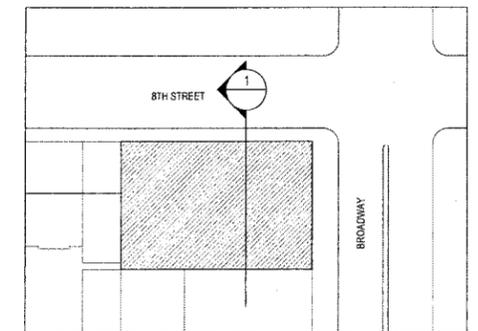
**4 EAST COURTYARD ELEVATION**  
SCALE: 1/8"=1'-0"

**3 NORTH COURTYARD ELEVATION**  
SCALE: 1/8"=1'-0"



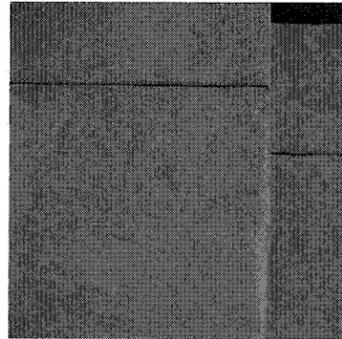


**1 CROSS SECTION**  
SCALE: 1/8" = 1'-0"

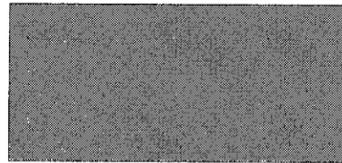


**KEY PLAN:**  
NOT TO SCALE

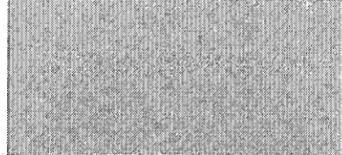




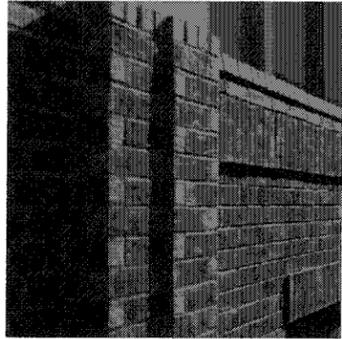
1 SAND FLOAT TEXTURE CEMENT PLASTER; CONTROL JOINT REVEALS AND COLOR AS INDICATED ON ELEVATIONS. SHOWN FOR TEXTURE ONLY



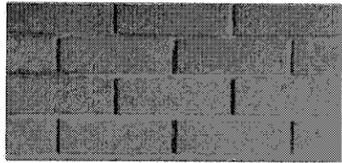
1A BENJAMIN MOORE 'AUDUBON RUSSET' - HC-51 OR SIMILAR



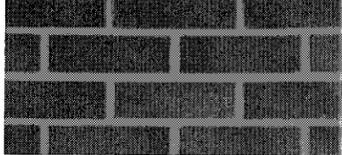
1B BENJAMIN MOORE 'REVERE PEWTER' - HC-172 OR SIMILAR



2 BRICK VENEER; TYPICAL



2A H.C. MUDDOX 'SPANISH MOSS' COLORED BRICK OR SIMILAR



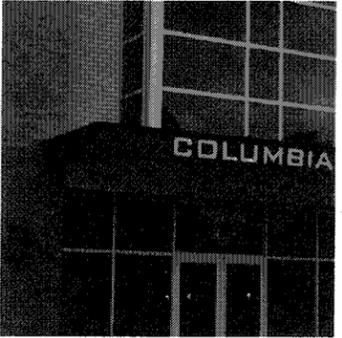
2B H.C. MUDDOX 'SIERRA SLATE' COLORED BRICK OR SIMILAR



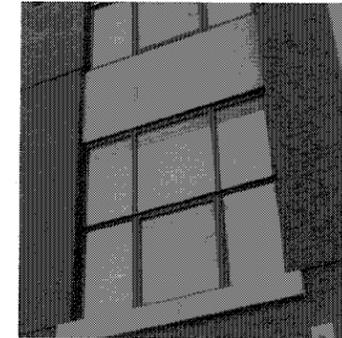
3 CAST STONE BASE



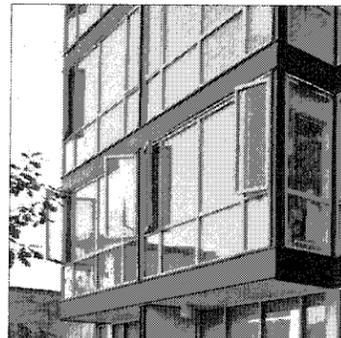
4 COMMERCIAL STOREFRONT SYSTEM



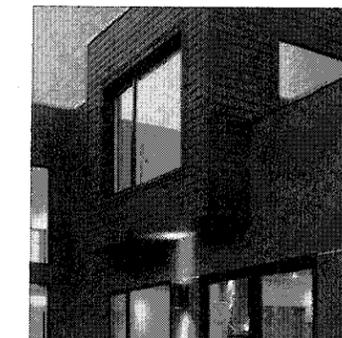
5 PAINTED METAL OVERHANG WITH SIGNAGE POTENTIAL



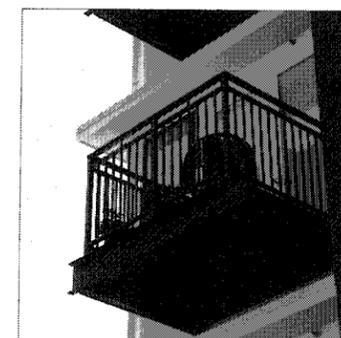
6 RECESSED COLOR PANEL BETWEEN WINDOW SYSTEM; TYPICAL



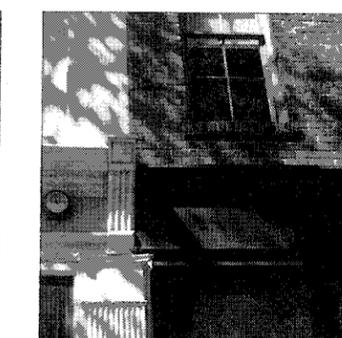
7 STOREFRONT WINDOW SYSTEM; TYPICAL



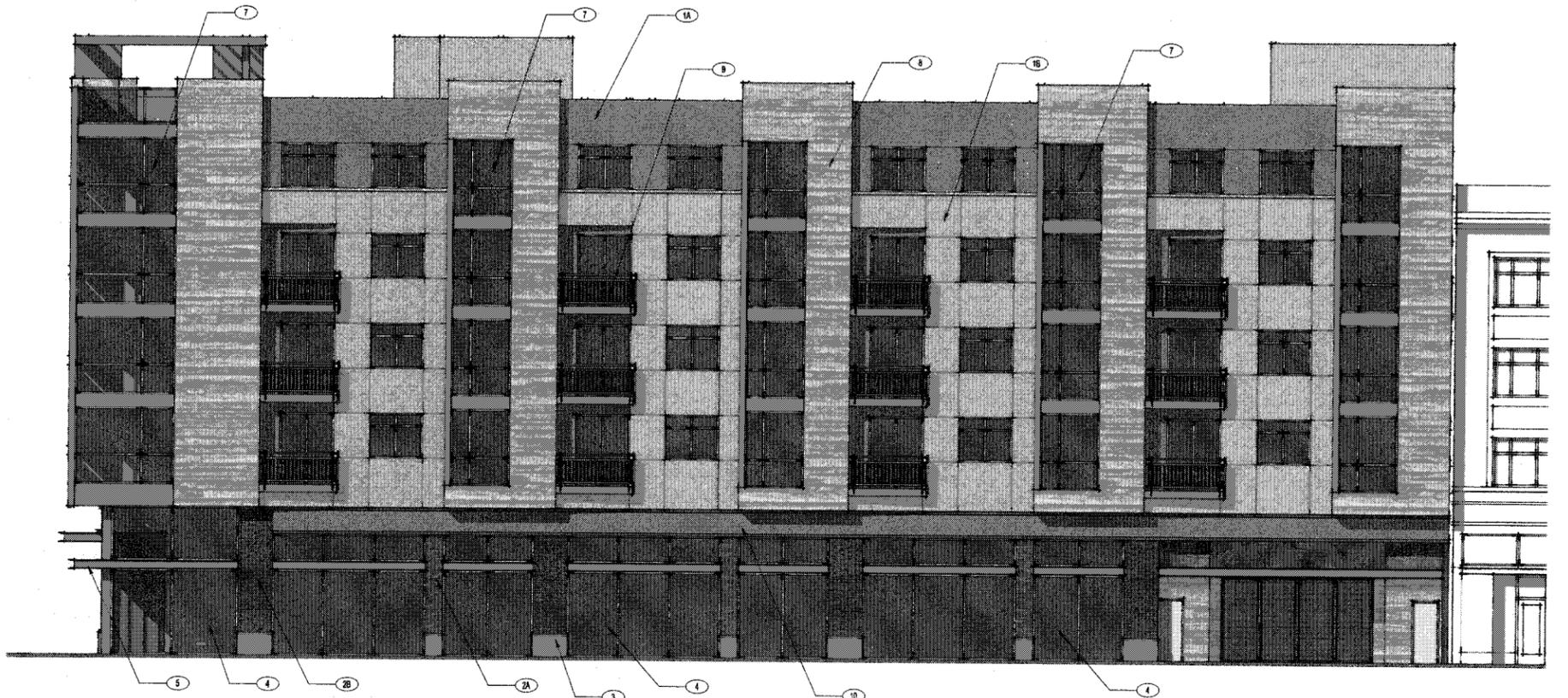
8 PAINTED FIBER CEMENT SIDING AND TRIM; TYPICAL



9 PAINTED METAL BALCONY RAILING; TYPICAL



10 PAINTED LINTEL AND TRANSOM TREATMENT WITH TRIM MOLDING



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

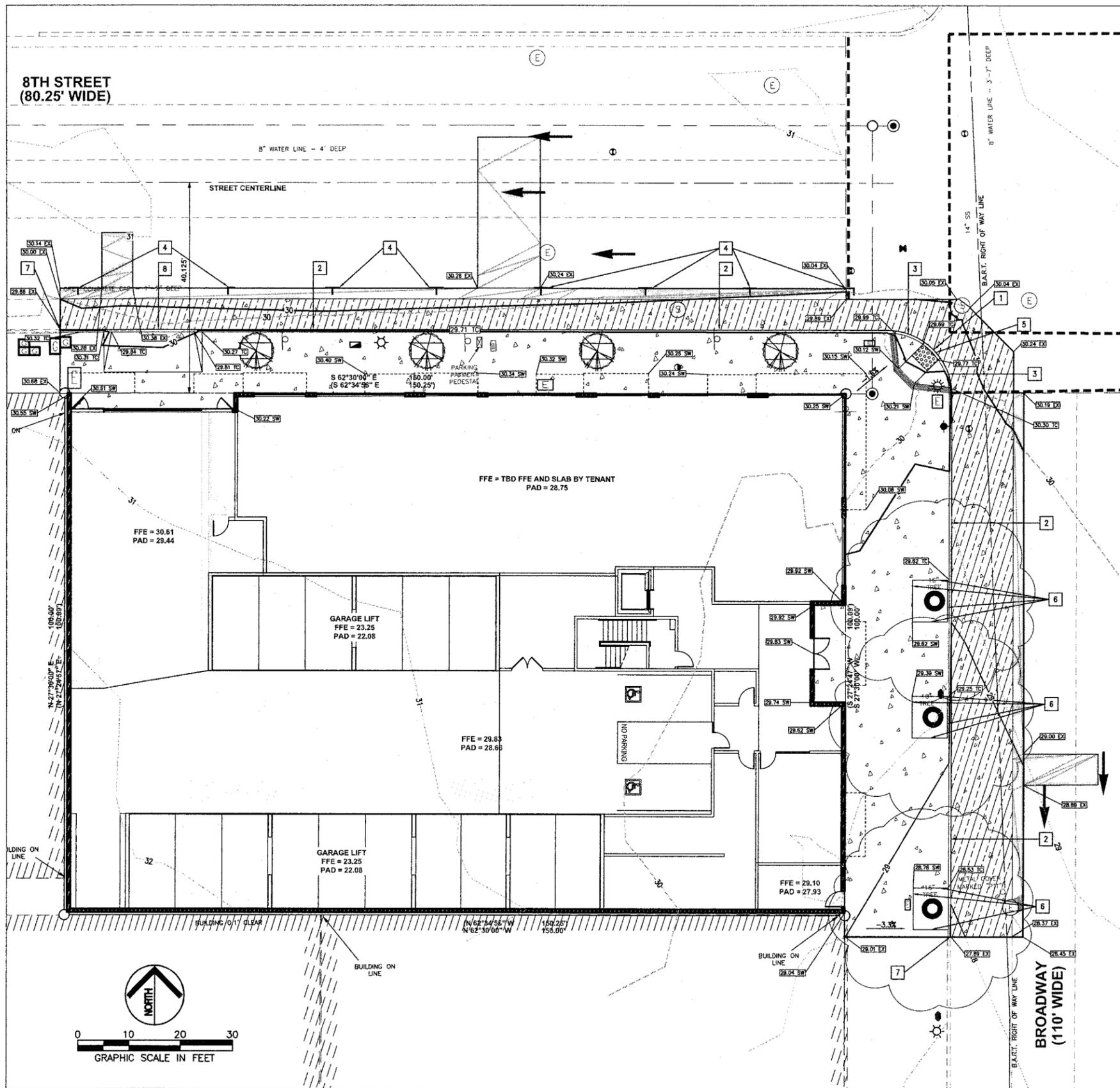




1 VIEW FROM INTERSECTION AT BROADWAY AND 8TH STREET  
SCALE: 1/8" = 1'-0"



2 VIEW FROM 8TH STREET  
SCALE: 1/8" = 1'-0"



**SITE PLAN KEY NOTES**

- 1 PROPOSED ACCESSIBLE CURB RAMP PER DETAILS 1.2 AND 7 ON SHEET C6.2 WITH TRUNCATED DOMES PER DETAIL 4 ON SHEET C6.2.
- 2 PROPOSED PCC VERTICAL BARRIER CURB (6") PER DETAIL 4 ON SHEET C6.1.
- 3 PROPOSED PCC CURB TAPER PER DETAIL 6 ON SHEET C6.1.
- 4 PROPOSED PARKING STALL "TEE" STRIPING PER DETAIL 6 ON SHEET C6.2.
- 5 PROPOSED PCC FLUSH CURB (0") PER DETAIL 5 ON SHEET C6.1.
- 6 PROPOSED PCC THICKENED EDGE PER DETAIL 7 ON SHEET C6.1.
- 7 MEET EXISTING CURB HEIGHT.
- 8 PROPOSED PCC DRIVEWAY PER DETAIL 3 ON SHEET C6.2.

**GENERAL NOTES:**

1. ALL CURBS ARE PCC VERTICAL BARRIER CURB 6" PER DETAIL 4 ON SHEET C6.1 UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ALAMEDA COUNTY AND CITY OF OAKLAND STANDARDS.
3. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
4. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
5. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
6. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**PAVEMENT ELEVATION NOTE:**

UNLESS OTHERWISE NOTED, PAVEMENT ELEVATION (P) IS 6" BELOW THE TOP OF CURB (TC) ELEVATION.

**GRADING NOTES:**

1. ALL GRADE BREAKS SHALL BE CONSTRUCTED AS A VERTICAL CURVE TO AVOID ANY DEFINED CRESTS OR SUMPS.

**ENGINEER'S ADA NOTES:**

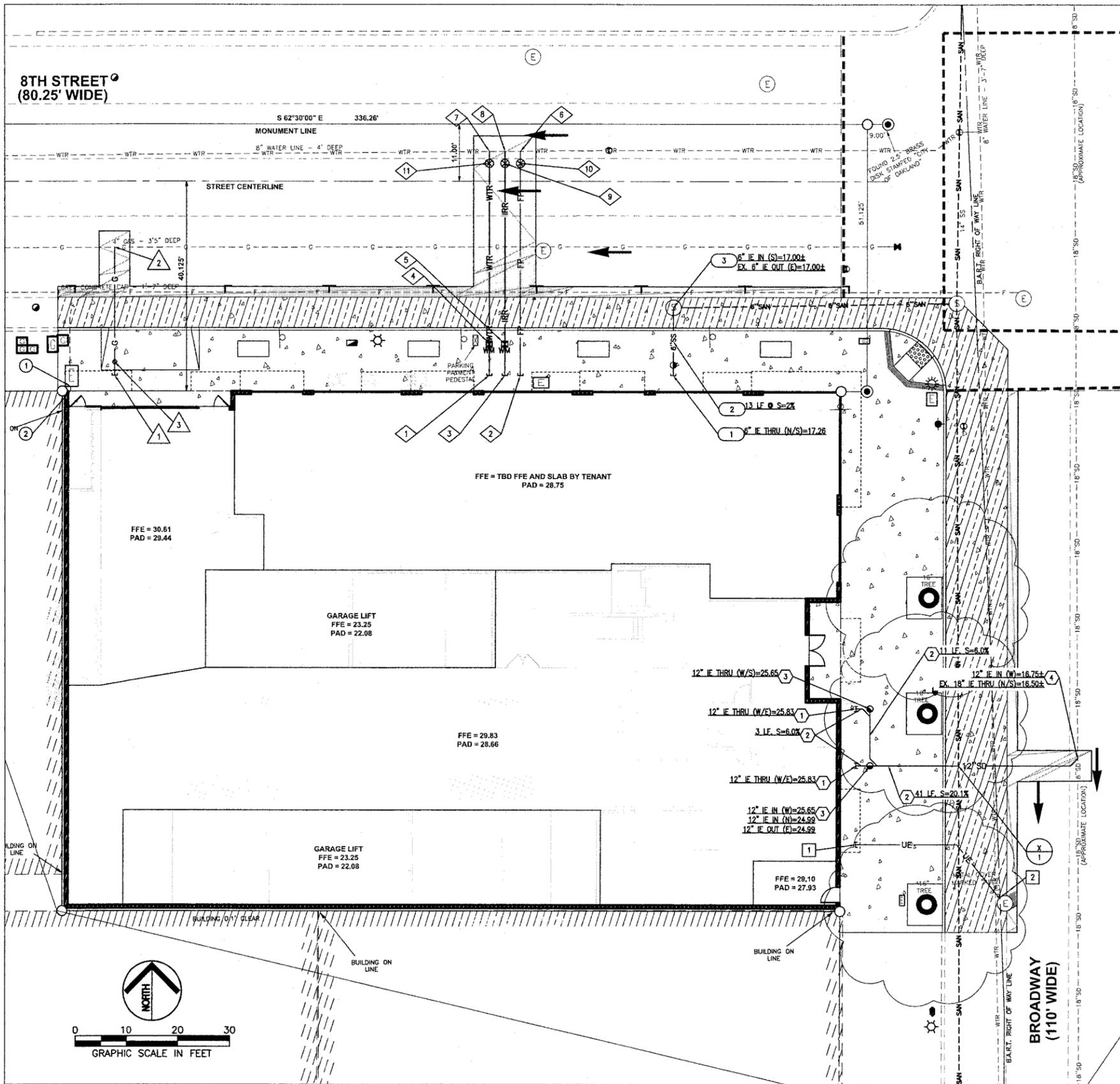
1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MUNICIPAL AND STATE ADA REGULATIONS.
2. RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
3. RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 3 FEET (EXCEPT AT DOORWAYS) AND A MAXIMUM CROSS-SLOPE OF 2%. RAMPS EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES.
4. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
5. TRUNCATED DOMES AS DETECTABLE WARNINGS ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN WALKWAY AND VEHICULAR WAY.
6. ANY REQUEST BY A MUNICIPALITY OR INSPECTOR TO MODIFY THE ACCESSIBILITY DETAILS OR DESIGN SHOWN ON THESE PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT APPROVAL FROM THE ENGINEER AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN IN THESE PLANS AND SPECIFICATIONS AND FEDERAL, STATE AND LOCAL LAW WILL BE REMOVED AND REPLACED AND MADE FULLY COMPLIANT REGARDLESS OF MAGNITUDE AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL FOLLOW THE RFI PROCESS IN ESTABLISHING THE APPROVAL OR DENIAL OF CHANGES TO ADA RELATED DETAILS OR MOUNTING DIMENSIONS.
7. 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.

**CIVIL SHEET INDEX**

- C1.0 PRELIMINARY SITE, PAVING AND GRADING PLAN
- C2.0 PRELIMINARY STORM WATER CONTROL PLAN
- C3.0 PRELIMINARY UTILITY PLAN

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	POTABLE WATER LINE (PVC SCHEDULE 80)	---
---	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	---
---	STORM DRAIN LINE (PVC SDR-35)	---
---	IRRIGATION WATER LINE	---
---	GAS LINE	---
---	UNDERGROUND ELECTRIC	---
---	UNDERGROUND DATA AND TELEPHONE LINE	---
---	FENCE	---
---	STANDARD PCC PAVEMENT	---
---	HEAVY DUTY PCC PAVEMENT	---
---	AC PAVEMENT	---
---	TRUNCATED DOMES DETECTABLE WARNING SURFACE	---
---	SIGN	---
---	SITE LIGHT OR STREET LIGHT	---
---	FOUND MONUMENT AS DESCRIBED	---
---	DIMENSION POINT - NOTHING FOUND/ SET	---
---	GROUNDWATER MONITORING WELL	---
---	PARKING METER	---
---	WATER VALVE AND MAIN TAP	---
---	FIRE HYDRANT	---
---	WATER METER OR BOX	---
---	SEWER MANHOLE	---
---	CLEANOUT	---
---	CATCH BASIN	---
---	TRANSFORMER IN ELECTRICAL VAULT	---
---	GAS METER OR BOX	---
---	GAS VALVE	---
---	ELECTRIC BOX	---
---	ELECTRICAL MANHOLE	---
---	TRAFFIC SIGNAL AND MAST ARM	---
---	TRAFFIC SIGNAL PULL BOX	---
---	<b>SPOT GRADING LEGEND</b>	
---	INDICATES ELEVATION TO MATCH EXISTING	
---	INDICATES ELEVATION AT BUILDING FINISHED FLOOR	
---	INDICATES ELEVATION AT TOP OF CURB	
---	INDICATES ELEVATION AT FINISHED GROUND	
---	INDICATES ELEVATION AT TOP OF PCC SIDEWALK	
---	1.5% DRAINAGE ARROW AND PROPOSED SLOPE	
---	PROPOSED DRAINAGE BASIN BOUNDARY	





- SANITARY SEWER KEY NOTES**
- CONNECT PROPOSED SANITARY SEWER TO BUILDING WITH SEWER CLEANOUT APPROXIMATELY 5' FROM BUILDING. SIZE AND INVERT PER PLAN. SEE PLUMBING PLANS FOR CONTINUATION.
  - PROPOSED SCHEDULE 40 PVC SANITARY SEWER PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
  - CONNECT TO EXISTING SANITARY SEWER MANHOLE. INVERT PER PLAN.
- WATER KEY NOTES**
- CONNECT PROPOSED 4" DOMESTIC WATER SERVICE TO BUILDING. BFP LOCATED WITHIN BUILDING. SEE ARCHITECTURAL AND PLUMBING PLANS FOR DETAILS.
  - CONNECT PROPOSED 6" FIRE WATER PROTECTION SERVICE TO BUILDING. BFP LOCATED INSIDE OF BUILDING WITH WALL MOUNTED FDC. SEE ARCHITECTURAL AND PLUMBING PLANS FOR DETAILS.
  - PROPOSED 1" IRRIGATION WATER SERVICE POINT OF CONNECTION. BFP LOCATED INSIDE OF BUILDING. SEE LANDSCAPE PLANS FOR DETAILS.
  - PROPOSED 2" WATER METER WITH METER BOX AND LID.
  - PROPOSED 1" IRRIGATION WATER METER WITH METER BOX AND LID.
  - CONNECT PROPOSED 6" FIRE WATER PROTECTION SERVICE TO EXISTING 8" WATER MAIN.
  - CONNECT PROPOSED 4" DOMESTIC WATER SERVICE TO EXISTING 8" WATER MAIN.
  - CONNECT PROPOSED 1" IRRIGATION WATER SERVICE TO EXISTING 8" WATER MAIN.
  - PROPOSED IRRIGATION WATER SERVICE TAP AND ISOLATION VALVE.
  - PROPOSED FIRE PROTECTION SERVICE TAP AND ISOLATION VALVE.
  - PROPOSED DOMESTIC WATER SERVICE TAP AND ISOLATION VALVE.
- TELEPHONE AND DATA KEY NOTES**
- CONNECT PROPOSED DATA AND TELEPHONE PVC CONDUITS TO BUILDING. SEE ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND CONDUCTOR DETAILS.
  - CONNECT PROPOSED UNDERGROUND DATA AND TELEPHONE CONDUITS TO EXISTING TRANSFORMER. SEE ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND CONDUCTOR DETAILS.
- ELECTRICAL KEY NOTES**
- CONNECT PROPOSED ELECTRICAL CONDUITS TO BUILDING. CONTRACTOR TO CONFIRM AND COORDINATE LOCATION WITH ARCHITECTURAL AND ELECTRICAL PLANS.
  - CONNECT PROPOSED ELECTRICAL SERVICE TO EXISTING UNDERGROUND DRY UTILITY MANHOLE.
- STORM DRAIN KEY NOTES**
- CONNECT PROPOSED STORM DRAIN SERVICE TO BUILDING WITH CLEANOUT APPROXIMATELY 5' FROM BUILDING. SIZE AND INVERT PER PLAN. SEE PLUMBING PLANS FOR CONTINUATION.
  - PROPOSED SDR-35 PVC STORM DRAIN PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
  - PROPOSED STORM DRAIN CLEANOUT. SIZE AND INVERT PER PLAN.
  - CONNECT PROPOSED STORM DRAIN CONDUIT TO EXISTING 18" STORM DRAIN IN BROADWAY. SIZE AND INVERT PER PLAN.
- GAS SERVICE KEY NOTES**
- CONNECT PROPOSED 2" GAS SERVICE TO BUILDING. SEE ARCHITECTURAL AND PLUMBING PLANS FOR CONTINUATION.
  - CONNECT PROPOSED 2" GAS SERVICE TO EXISTING 4" GAS MAIN. SEE PG&E PLANS FOR DETAILS.
  - PROPOSED GAS VALVE AND METER.
- UTILITY CROSSING NOTES**
- UTILITY CROSSING - EX. 14" SS TOP=19.00±, 12" SD BOP=21.07±

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	POTABLE WATER LINE (PVC SCHEDULE 80)	---
---	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	---
---	STORM DRAIN LINE (PVC SDR-35)	---
---	IRRIGATION WATER LINE	---
---	GAS LINE	---
---	UNDERGROUND ELECTRIC	---
---	UNDERGROUND DATA AND TELEPHONE LINE	---
---	FENCE	---
---	STANDARD PCC PAVEMENT	---
---	HEAVY DUTY PCC PAVEMENT	---
---	AC PAVEMENT	---
---	TRUNCATED DOMES DETECTABLE WARNING SURFACE	---
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---	SITE LIGHT OR STREET LIGHT	---
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---	GROUNDWATER MONITORING WELL	---
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---	WATER VALVE AND MAIN TAP	---
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---	WATER METER OR BOX	---
---	SEWER MANHOLE	---
---	CLEANOUT	---
---	CATCH BASIN	---
---	TRANSFORMER IN ELECTRICAL VAULT	---
---	GAS METER OR BOX	---
---	GAS VALVE	---
---	ELECTRIC BOX	---
---	ELECTRICAL MANHOLE	---
---	TRAFFIC SIGNAL AND MAST ARM	---
---	TRAFFIC SIGNAL PULL BOX	---

- UTILITY NOTES:**
- SEE SHEET C2.0 - PRELIMINARY STORM WATER CONTROL PLAN FOR ADDITIONAL STORM DRAIN UTILITY DESIGN INFORMATION.
  - EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
  - LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.

